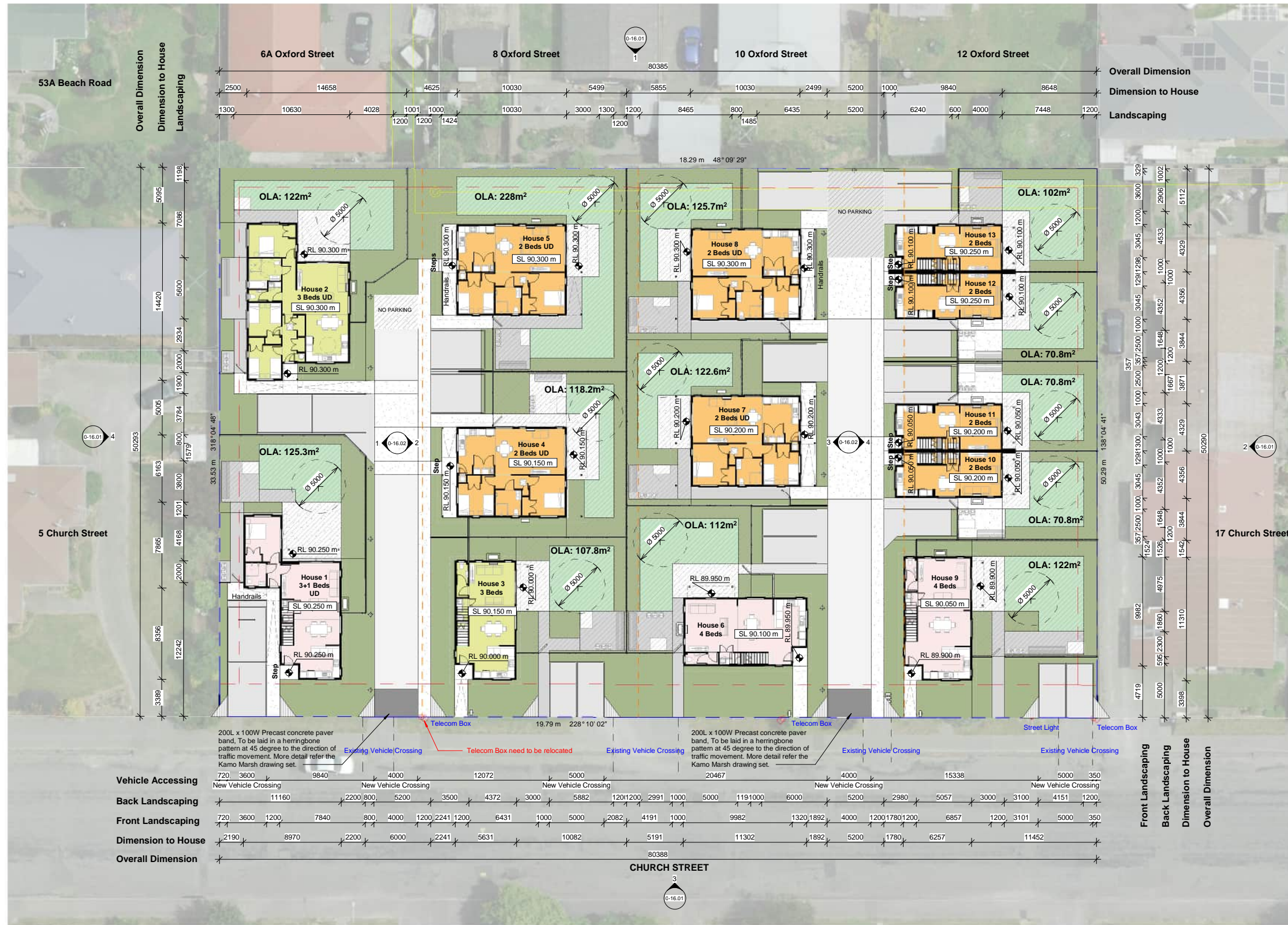


Copyright ©
 These plans remain the property of Hierarchy Group Ltd and are protected by copyright. They shall not be copied in any form or passed on to a third party without prior written consent. Do not scale. Original drawing in colour.

SCALE SUMMARY

1000 @ A1 = 2000 @ A3	100 @ A1 = 200 @ A3
500 @ A1 = 1000 @ A3	50 @ A1 = 100 @ A3
250 @ A1 = 500 @ A3	25 @ A1 = 50 @ A3
200 @ A1 = 100 @ A3	10 @ A1 = 20 @ A3
150 @ A1 = 300 @ A3	5 @ A1 = 10 @ A3



1 B&L - Outdoor Living Area
 Scale 1 : 200 @ A1

Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 1 of 16
 Ashburton District Council



Client:
Kāinga Ora
 Homes and Communities

Project:
HDS-7-15 Church Street, Ashburton - AR109524
 Address: **7-15 Church Street, Hampstead, Ashburton 7700**

Rev.	Description	Date
A	Resource Consent	11/08/23

Revision Schedule		Status:
		RESOURCE CONSENT
		Issue Date: 11/08/23
		Drawn By: KTC Checked By: LH
		Scale: 1 : 200 @ A1

Sheet Name: Outdoor Living Area Supporting Document	Sheet No: 1-31.03	Rev No: A
---	-----------------------------	---------------------

CLIENT



PROJECT NAME

7-15 CHURCH STREET

ADDRESS

7-15 Church Street, Hampstead, Ashburton, 7700

LANDSCAPE DESIGN PACKAGE

RESOURCE CONSENT

04.09.23

PREPARED BY



Te Uruti Building, 48 Hereford St, PO Box 2833, Christchurch 8140
Mountaineer Building, 32 Rees St, Queenstown 9300

T. 03 366 8181 E. admin@kamommarsh.co.nz W. kamommarsh.co.nz

SITE LOCATION PLAN



REFERENCE NO.

5252_V_68

SHEET NO.	SHEET TITLE	SHEET SUBTITLE	REV
RC-LD-1001	LANDSCAPE MASTERPLAN	SITE WIDE	B
RC-LD-1002	LANDSCAPE PLAN	HOUSE 1 - 5	A
RC-LD-1003	LANDSCAPE PLAN	HOUSE 6 - 12	B
RC-LD-1301	FENCING PLAN	HOUSE 1 - 5	A
RC-LD-1302	FENCING PLAN	HOUSE 6 - 12	A
RC-LD-1701	SPECIMEN TREE & PLANTING PALETTE	HOUSE 1 - 5	B
RC-LD-1702	SPECIMEN TREE & PLANTING PALETTE	HOUSE 6 - 12	B

Approved District Planning
Consent Documents
LUC23/0103
Sheet 2 of 16
Ashburton District Council

- NOTES
1. Confirm set out of all dimensions on site prior to commencing work.
 2. Do not scale off drawings.
 3. All plans to be read in conjunction with Hierarchy Group Architecture Plan Set and Becca Engineer Plan Set.
 4. Levels shown for reference only. Refer to Becca Engineer Plan Set.

- LEGEND
- Property boundary
 - Existing tree to be removed
 - Proposed specimen tree
 - Proposed fruit tree
 - Proposed garden bed
 - Lawn
 - Existing Easement to remain
 - Standard concrete, broom finish (U5), saw cuts as shown
 - Exposed aggregate concrete with black oxide additive (8kg/m³), saw cuts as shown
 - 200L x 100W Precast concrete paver threshold (ex. Firth Holland 80°, colour black sands). To be laid in a herringbone pattern
 - 200 X 100mm L Precast concrete paver band (ex. Firth Holland 80°, colour black sands)
 - No parking zone
 - Austral 'Compact 39' fold down washing line (or similar approved)
 - Austral 'Compact' fold down washing line (or similar approved)
 - Medium Garden Master Shed/ bike storage (1530W x 1080D x 1830Hmm), 'Grey Friars' colour
 - Bin storage area
 - Heat pump unit on concrete pad (by Architects)
 - Single letterbox on post
 - Letterbox bank
 - Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
 - Gate access - 0.95m wide, gate to match adjacent fencing
 - Suburban Timber Wheelstop (ex. Street Furniture)
 - Step location (by Architects)
 - 2 x Step risers
 - Ramp and handrails (by Architects)
 - Revisions to RC 14.05.24

REV	DATE	BY	ISSUE
B	14.05.24	AZ	RESOURCE CONSENT
A	14.08.23	AZ	RESOURCE CONSENT

LANDSCAPE AREA

Landscape (including lawn, garden bed / shrubs & specimen trees)	1662m ² (41%)
Lawn only (34% of total landscape area)	566m ²
Trees and shrubs only (66% of total landscape area)	1096m ²



Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 3 of 16
 Ashburton District Council



7-15 CHURCH ST

ADDRESS
7-15 Church Street, Hampstead
Ashburton, 7700



LANDSCAPE PLAN HOUSE 1 - 5

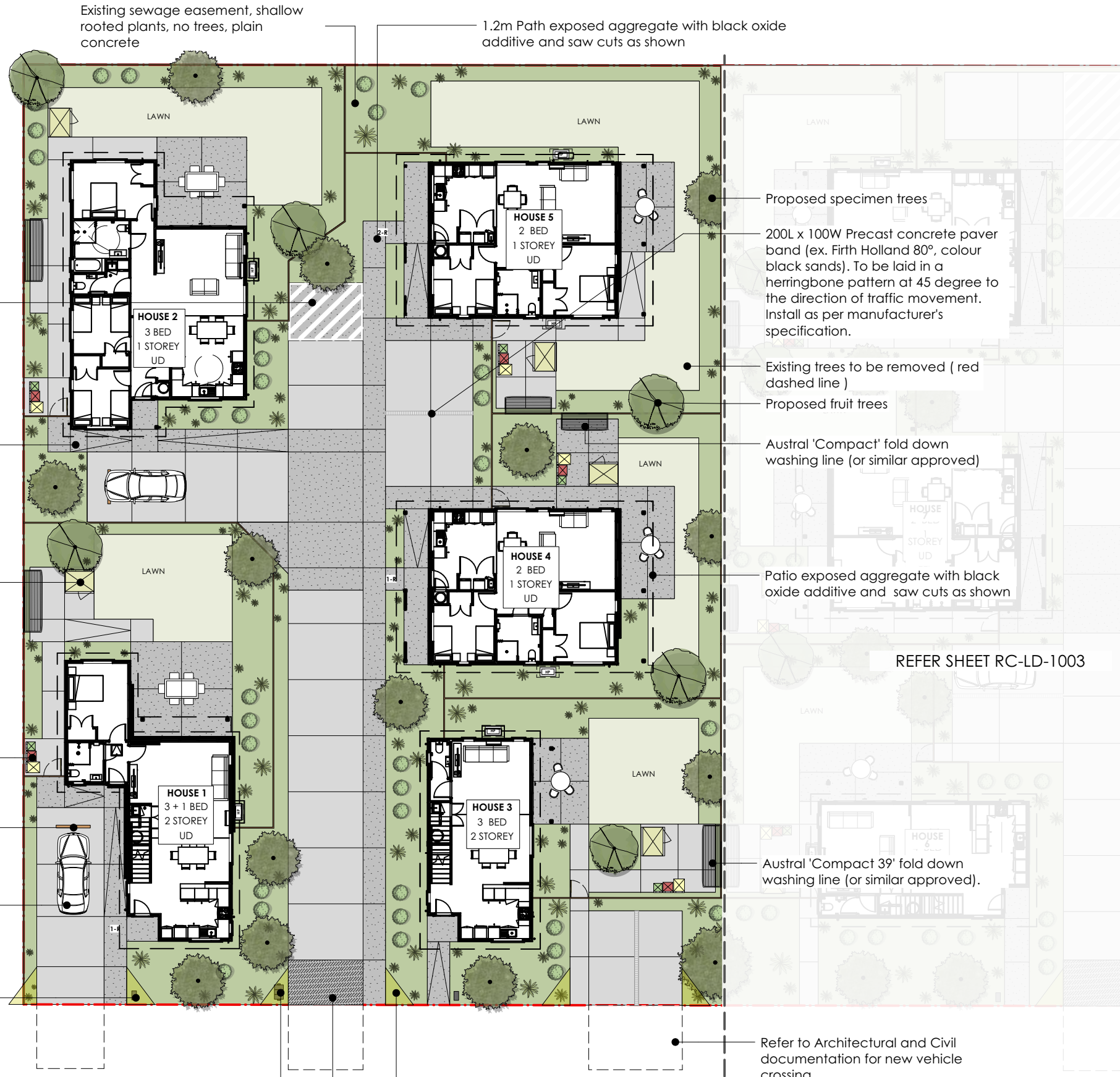
RESOURCE CONSENT

NOTES

1. Confirm set out of all dimensions on site prior to commencing work.
2. Do not scale off drawings.
3. All plans to be read in conjunction with Hierarchy Group Architecture Plan Set and Becca Engineer Plan Set.
4. Levels shown for reference only. Refer to Becca Engineer Plan Set.

LEGEND

- Property boundary
- Existing tree to be removed
- Proposed specimen tree
- Proposed fruit tree
- Proposed garden bed
- Lawn
- Existing Easement to remain
- Standard concrete, broom finish (U5), saw cuts as shown
- Exposed aggregate concrete with black oxide additive (8kg/m3), saw cuts as shown
- 200L x 100W Precast concrete paver threshold (ex. Firth Holland 80°, colour black sands). To be laid in a herringbone pattern
- 200 x 100mm L Precast concrete paver band (ex. Firth Holland 80°, colour black sands)
- No parking zone
- Austral 'Compact 39' fold down washing line (or similar approved)
- Austral 'Compact' fold down washing line (or similar approved)
- Medium Garden Master Shed/ bike storage (1530W x 1080D x 1830Hmm), 'Grey Friars' colour
- Bin storage area
- Heat pump unit on concrete pad (by Architects)
- Single letterbox on post
- Letterbox bank
- Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
- Gate access - 0.95m wide, gate to match adjacent fencing
- Suburban Timber Wheelstop (ex. Street Furniture)
- Step location (by Architects)
- 2 x Step risers
- Ramp and handrails (by Architects)



Lines to be applied to the concrete finish for no parking purposes. To be painted with slip resistant paint and will be applied by an approved line marking company.

Paths to be 1.2m wide minimum for UD units, Exposed aggregate concrete with black oxide additive saw cuts as shown (refer to civil documentation for depth and construction details).

Medium Garden Master Shed/bike storage (1530W x 1080D x 1830Hmm), 'Grey Friars' colour.

Bin storage area

Suburban Timber Wheelstop (ex. Street Furniture)

Carpark to be insitu standard concrete broom finish and saw cuts as shown (refer to civil documentation)

1 x 'Urban' Letterbox (ex. Box Design), colour black, lockable, front door access, adhesive street/unit numbers, mounted on a 0.8m high 'Letterbox Pole', colour black (ex. Box Design). Total installed letterbox height 1m.

3 x 'Urban' Letterbox (ex. Box Design), colour black, lockable, front door access, adhesive street/unit numbers, mounted on 2 x custom posts either end of bank. Total letterbox bank height 1m.

Visibility splay, all fencing and planting to be max. 1.0m high in visibility splay.

200L x 100W Precast concrete paver band (ex. Firth Holland 50°, colour black sands). To be laid in a herringbone pattern at 45 degree to the direction of traffic movement. Install as per manufacturer's specification.

Proposed specimen trees
200L x 100W Precast concrete paver band (ex. Firth Holland 80°, colour black sands). To be laid in a herringbone pattern at 45 degree to the direction of traffic movement. Install as per manufacturer's specification.

Existing trees to be removed (red dashed line)
Proposed fruit trees

Austral 'Compact' fold down washing line (or similar approved)

Patio exposed aggregate with black oxide additive and saw cuts as shown

REFER SHEET RC-LD-1003

Austral 'Compact 39' fold down washing line (or similar approved).

Refer to Architectural and Civil documentation for new vehicle crossing.

Approved District Planning
Consent Documents
LUC23/0103
Sheet 4 of 16
Ashburton District Council

C H U R C H S T



Te Uruti Building, 48 Hereford St, PO Box 2833, Christchurch 8140
Mountaineer Building, 32 Rees St, Queenstown 9300
T: 03 3668 181
E: admin@kamommarsh.co.nz
W: kamommarsh.co.nz

Design AZ Date 04.09.23
Drawn AZ/DN Scale 1:250@A3
Check AP

REF. NO. 5252_V_68 PAGE REVISION A



7-15 CHURCH ST

ADDRESS
7-15 Church Street, Hampstead
Ashburton, 7700



LANDSCAPE PLAN

HOUSE 6 - 12

RESOURCE CONSENT

NOTES

1. Confirm set out of all dimensions on site prior to commencing work.
2. Do not scale off drawings.
3. All plans to be read in conjunction with Hierarchy Group Architecture Plan Set and Becca Engineer Plan Set.
4. Levels shown for reference only. Refer to Becca Engineer Plan Set.

LEGEND

- Property boundary
- Existing tree to be removed
- Proposed specimen tree
- Proposed fruit tree
- Proposed garden bed
- Lawn
- Existing Easement to remain
- Standard concrete, broom finish (U5), saw cuts as shown
- Exposed aggregate concrete with black oxide additive (8kg/m3), saw cuts as shown
- 200L x 100W Precast concrete paver threshold (ex. Firth Holland 80°, colour black sands). To be laid in a herringbone pattern
- 200 x 100mm L Precast concrete paver band (ex. Firth Holland 80°, colour black sands)
- No parking zone
- Austral 'Compact 39' fold down washing line (or similar approved)
- Austral 'Compact' fold down washing line (or similar approved)
- Medium Garden Master Shed/ bike storage (1530W x 1080D x 1830Hmm), 'Grey Friars' colour
- Bin storage area
- Heat pump unit on concrete pad (by Architects)
- Single letterbox on post
- Letterbox bank
- Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
- Gate access - 0.95m wide, gate to match adjacent fencing
- Suburban Timber Wheelstop (ex. Street Furniture)
- Step location (by Architects)
- 2 x Step risers
- Ramp and handrails (by Architects)
- Revisions to RC 14.05.24

REV	DATE	BY	ISSUE
B	14.05.24	AZ	RESOURCE CONSENT
A	14.08.23	AZ	RESOURCE CONSENT



Te Uruti Building, 48 Hereford St, PO Box 2833, Christchurch 8140
Mountaineer Building, 32 Rees St, Queenstown 9300

T: 03 3668 181
E: admin@kamommarsh.co.nz
W: kamommarsh.co.nz

Design AZ Date 04.09.23
Drawn AZ/DN Scale 1:250@A3
Check AP

REF. NO. 5252_V_68 PAGE REVISION RC-LD-1003 B

Paths to be 1.2m wide minimum for FUD units, Exposed aggregate concrete with black oxide additive saw cuts as shown(refer to civil documentation for depth and construction details).

1.2m Path exposed aggregate with black oxide additive and saw cuts as shown

Existing sewage easement, shallow rooted plants, no trees, plain concrete



Medium Garden Master Shed/bike storage (1530W x 1080D x 1830Hmm), 'Grey Friars' colour.

Bin storage area

Austral 'Compact' fold down washing line (or similar approved)

REFER SHEET RC-LD-1002

1 x 'Urban' Letterbox (ex. Box Design), colour black, lockable, front door access, adhesive street/unit numbers, mounted on a 0.8m high 'Letterbox Pole', colour black (ex. Box Design). Total installed letterbox height 1m.

Visibility splay, all fencing and planting to be max. 1.0m high in visibility splay.

6 x 'Urban' Letterbox (ex. Box Design), colour black, lockable, front door access, adhesive street/unit numbers, mounted on 2 x custom posts either end of bank.Total letterbox bank height 1m.

200L x 100W Precast concrete paver band (ex. Firth Holland 50°, colour black sands). To be laid in a herringbone pattern at 45 degree to the direction of traffic movement. Install as per manufacturer's specification.

Proposed specimen trees

Revisions- Trees to be relocated

Proposed fruit trees

200L x 100W Precast concrete paver band (ex. Firth Holland 80°, colour black sands). To be laid in a herringbone pattern at 45 degree to the direction of traffic movement. Install as per manufacturer's specification.

Patio exposed aggregate with black oxide additive and saw cuts as shown

Revisions- Trees to be relocated

Austral 'Compact 39' fold down washing line (or similar approved).

Driveway to be insitu standard concrete with broom finish and saw cuts as shown (refer to civil documentation for depth and construction details).

Refer to Architectural and Civil documentation for vehicle crossing extent.

CHURCH ST

Approved District Planning
Consent Documents
LUC23/0103
Sheet 5 of 16
Ashburton District Council



7-15 CHURCH ST

ADDRESS
7-15 Church Street, Hampstead
Ashburton, 7700

CLIENT

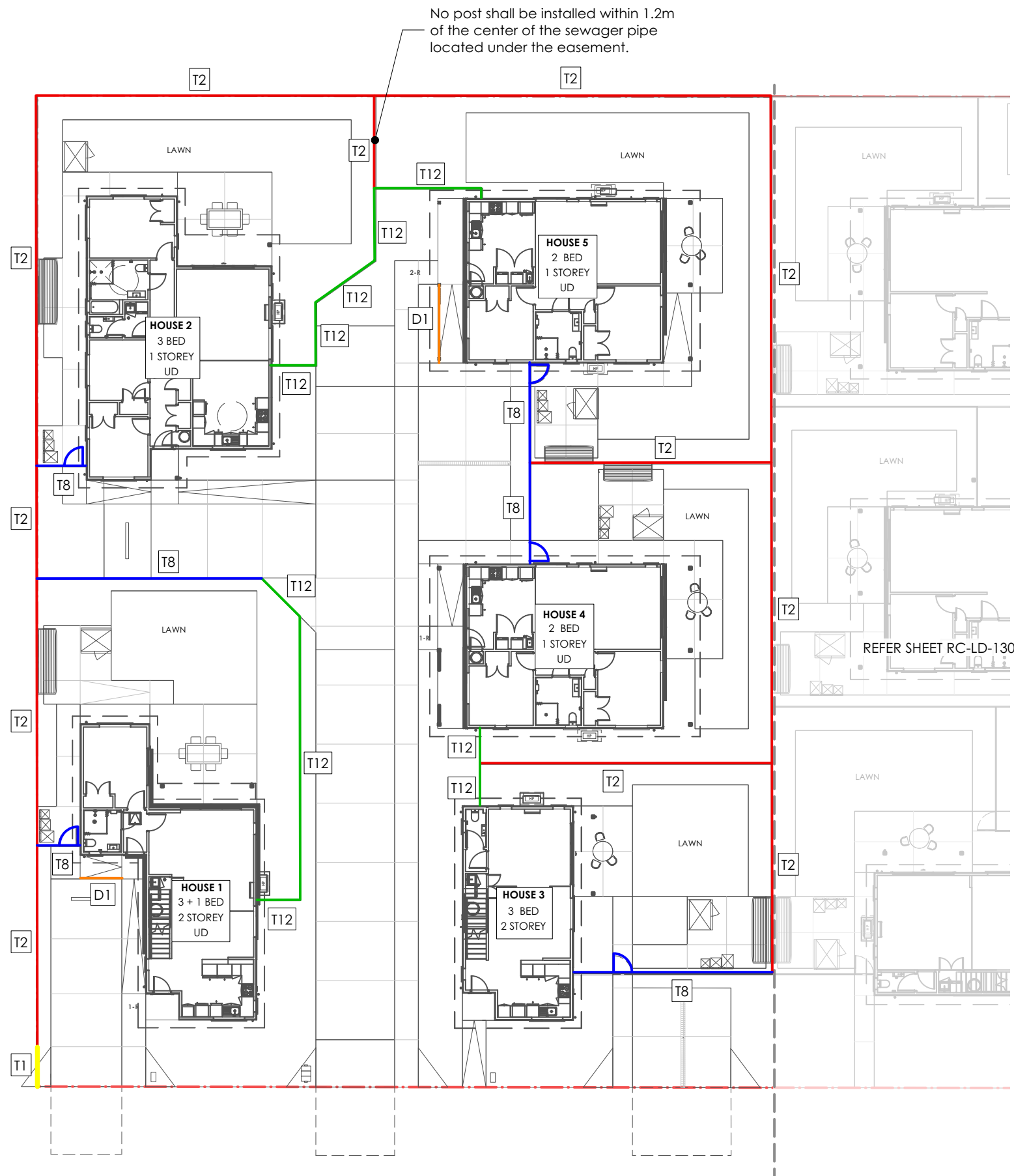


FENCING PLAN
HOUSE 1 - 5

RESOURCE CONSENT

NOTES

1. Confirm set out of all dimensions on site prior to commencing work.
2. Do not scale off drawings.
3. All gates to match adjacent fencing type, unless specified otherwise.
4. All gates for standard housing units to be 0.95m wide.
5. All gates for UD and accessible units to have a low latch and self-closing hinges.
6. *Allow to stain all exposed visible surface of timber paling fencing facing the street/JOAL or as indicated on fencing plan. Apply 2 coats charcoal timber stain, colour Resene 'Shadow Match' or similar approved by Landscape Architect.
7. Prior to excavating fencing post holes, confirm on site there are no clashes with underground services. Notify the Landscape Architect if any clashes are likely to occur.
8. A 3 months Defects Liability Period shall be included for all Hard Landscaping.



T1



1.0m high timber paling fence

T2



1.8m High timber paling fence *

T8



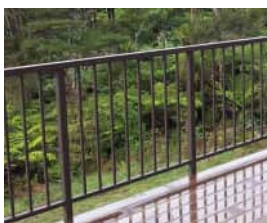
1.8m High timber board and batten fence with capping. Battens to face the street/JOAL*

T12



1.8m High timber board and batten fence (0.3m permeable top). Battens to face the street/JOAL*

D1



Juralco Viking Aluminium Balustrade (Detail refer to Hierarchy's Documents)

Approved District Planning
Consent Documents
LUC23/0103
Sheet 6 of 16
Ashburton District Council

C H U R C H S T

REV	DATE	BY	ISSUE
A	14.08.23	AZ	RESOURCE CONSENT



Te Uruti Building, 48 Hereford St, PO Box 2833, Christchurch 8140
Mountaineer Building, 32 Rees St, Queenstown 9300

T: 03 3668 181
E: admin@kamommarsh.co.nz
W: kamommarsh.co.nz

Design AZ Date 04.09.23
Drawn AZ/DN Scale 1:250@A3
Check AP

REF. NO. PAGE RC-LD-1301
5252_V_68 REVISION A

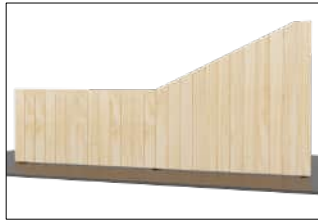
APPROVAL STAMP



NOTES

1. Confirm set out of all dimensions on site prior to commencing work.
2. Do not scale off drawings.
3. All gates to match adjacent fencing type, unless specified otherwise.
4. All gates for standard housing units to be 0.95m wide.
5. All gates for UD and accessible units to have a low latch and self-closing hinges.
6. *Allow to stain all exposed visible surface of timber paling fencing facing the street/JOAL or as indicated on fencing plan. Apply 2 coats charcoal timber stain, colour Resene 'Shadow Match' or similar approved by Landscape Architect.
7. Prior to excavating fencing post holes, confirm on site there are no clashes with underground services. Notify the Landscape Architect if any clashes are likely to occur.
8. A 3 months Defects Liability Period shall be included for all Hard Landscaping.

T1



1.0m high timber paling fence

T2



1.8m High timber paling fence *

T7



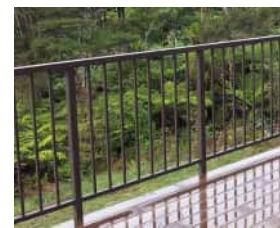
1.8m High timber board and batten fence. Battens on both sides *

T8



1.8m High timber board and batten fence with capping. Battens to face the street/JOAL*

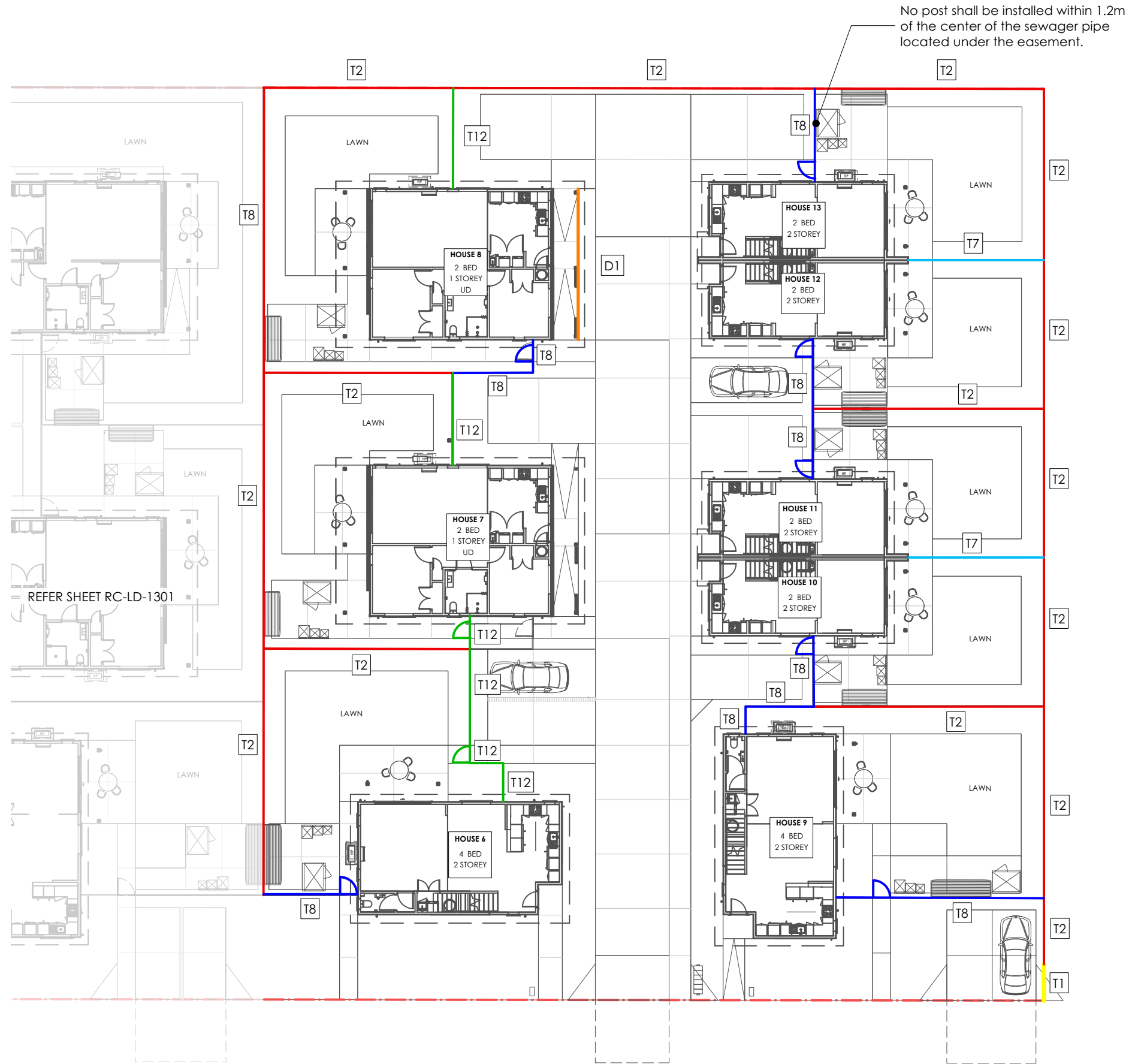
D1



Juralco Viking Aluminium Balustrade
(Detail refer to Hierarchy's Documents)

APPROVAL STAMP

Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 7 of 16
 Ashburton District Council



C H U R C H S T

REV	DATE	BY	ISSUE
A	14.08.23	AZ	RESOURCE CONSENT



Te Uruti Building, 48 Hereford St, PO Box 2833, Christchurch 8140
Mountaineer Building, 32 Rees St, Queenstown 9300

T: 03 3668 181
E: admin@kamommarsh.co.nz
W: kamommarsh.co.nz

Design AZ Date 04.09.23
 Drawn AZ/DN Scale 1:250@A3
 Check AP

REF. NO. PAGE RC-LD-1302
 5252_V_68 REVISION A



**SPECIMEN TREE & PLANTING
PALETTE**

HOUSE 1 - 5

RESOURCE CONSENT

NOTES

1. Confirm set out of all dimensions on site prior to commencing work. Do not scale off drawings.
2. All plans to be read in conjunction with Hierarchy Group Architecture Plan Set and Beca Engineer Plan Set.
3. All trees shall be at least 1.5m high at the time of planting and once established must be maintained at a height of at least 3m thereafter (with the exception of any proposed fruit trees).
4. All landscaping shall be established on site within the first planting season (extending from 1 April to 30 September) following the final, passed building inspection.
5. All landscaping shall be maintained and if dead, diseased, or damaged, shall be replaced by the consent holder within the following planting season (extending from 1 April to 30 September) with trees/shrubs of similar species to the existing landscaping and capable of achieving a minimum height of 3m (with the exception of any fruit trees).
6. Specimen tree locations are indicative.

LEGEND

- - - Property boundary
- Proposed specimen tree
- Proposed fruit tree
- Existing tree to be removed
- ▽ Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
- Lawn

INDICATIVE SPECIMEN TREE SPECIES

Acer palmatum
 Hoheria angustifolia
 Magnolia grandiflora 'Little Gem'
 Michelia 'Lemon Fragrant'
 Plagianthus regius
 Pseudopanax crassifolius
 Leptospermum 'Copper Sheen'
 Sophora microphylla
 Gleditsia spp.

INDICATIVE FRUIT TREE SPECIES

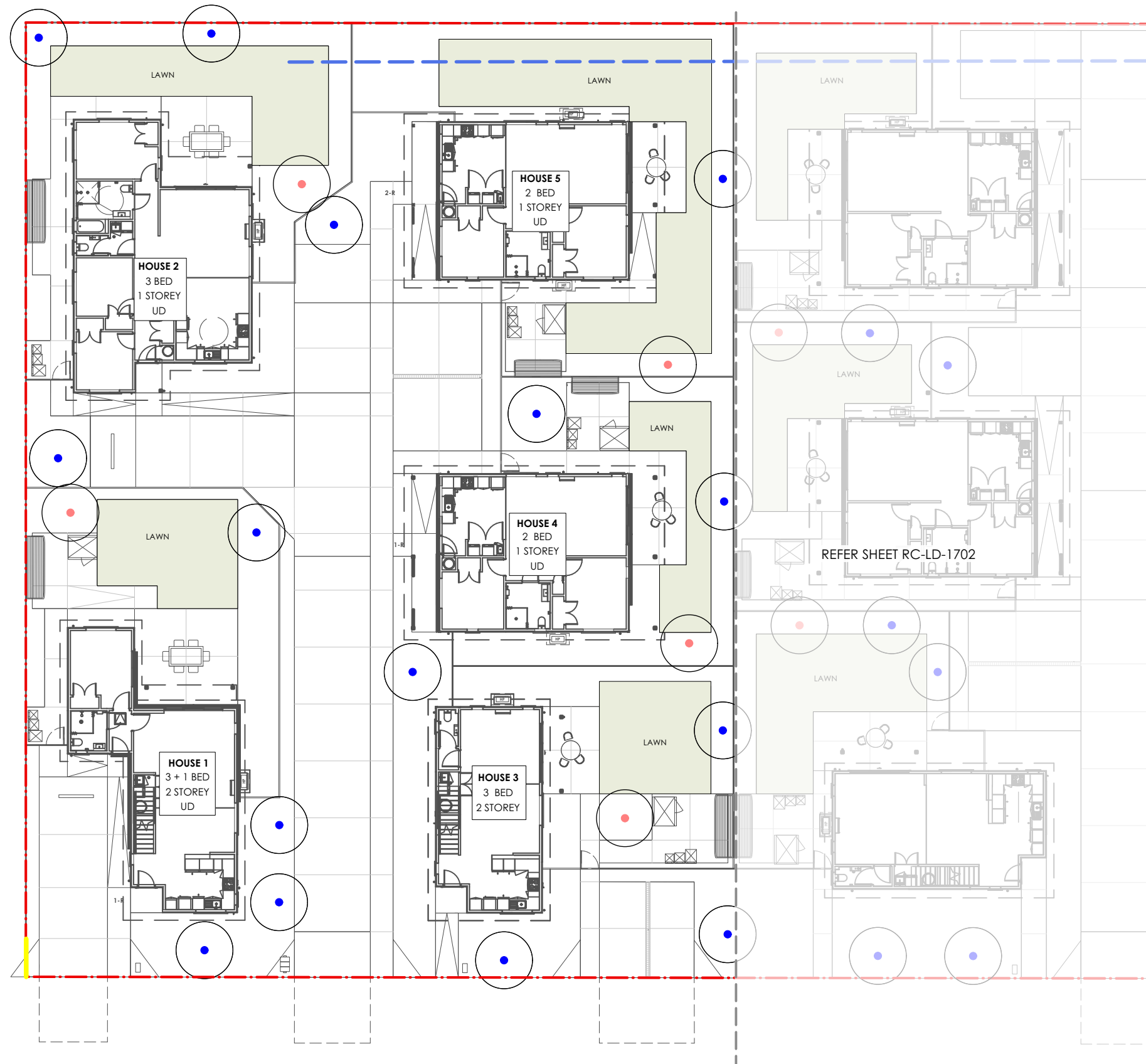
Feijoa spp.
 Citrus spp.
 Malus spp.
 Prunus spp.
 Pyrus spp.

INDICATIVE SHRUB & GROUNDCOVER SPECIES

Libertia spp.
 Muehlenbeckia spp.
 Phormium spp.
 Astelia spp.
 Carex spp.
 Dianella spp.
 Corokia spp.
 Chinochloa flavicans
 Mondo grass
 Alternanthera 'Little Ruby'
 Arthropodium spp.
 Pratia angulata
 Lomandra spp.
 Hebe spp.
 Griselinia littoralis
 Pittosporum spp.

- Planting around car parks to be low, dense and robust for visibility and to prevent vehicle access.

- Planting in visibility splay to be max. 1.0m high for vehicle visibility.



C H U R C H S T

Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 8 of 16
 Ashburton District Council

B	14.05.24	AZ	RESOURCE CONSENT
A	14.08.23	AZ	RESOURCE CONSENT
REV	DATE	BY	ISSUE



Te Uruti Building, 48 Hereford St, PO Box 2833, Christchurch 8140
Mountaineer Building, 32 Rees St, Queenstown 9300

T: 03 3668 181
E: admin@kamommarsh.co.nz
W: kamommarsh.co.nz

Design AZ Date 04.09.23
 Drawn AZ/DN Scale 1:250@A3
 Check AP

REF. NO. 5252_V_68 PAGE RC-LD-1701
 REVISION B



**SPECIMEN TREE & PLANTING
PALETTE**

HOUSE 6 - 12

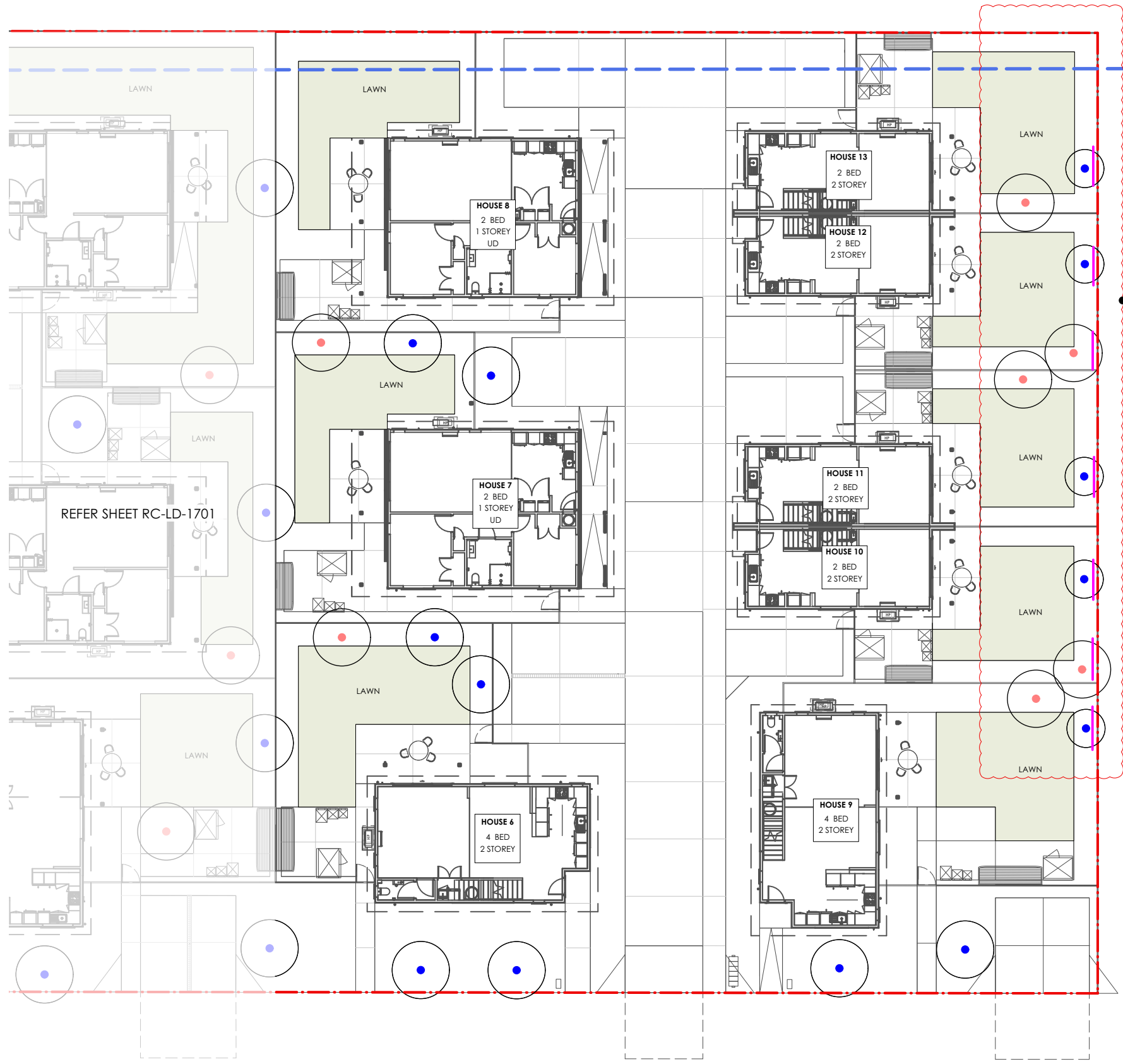
RESOURCE CONSENT

NOTES

1. Confirm set out of all dimensions on site prior to commencing work. Do not scale off drawings.
2. All plans to be read in conjunction with Hierarchy Group Architecture Plan Set and Beca Engineer Plan Set.
3. All trees shall be at least 1.5m high at the time of planting and once established must be maintained at a height of at least 3m thereafter (with the exception of any proposed fruit trees).
4. All landscaping shall be established on site within the first planting season (extending from 1 April to 30 September) following the final, passed building inspection.
5. All landscaping shall be maintained and if dead, diseased, or damaged, shall be replaced by the consent holder within the following planting season (extending from 1 April to 30 September) with trees/shrubs of similar species to the existing landscaping and capable of achieving a minimum height of 3m (with the exception of any fruit trees).
6. Specimen tree locations are indicative.

LEGEND

- - - Property boundary
- Proposed specimen tree
- Proposed fruit tree
- Existing tree to be removed
- △ Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
- LAWN Lawn
- Root barrier



Revisions - Fruit trees to be relocated, specimen trees changed to smaller species

- INDICATIVE SPECIMEN TREE SPECIES**
- Acer palmatum
 - Hoheria angustifolia
 - Magnolia grandiflora 'Little Gem'
 - Michelia 'Lemon Fragrant'
 - Plagianthus regius
 - Pseudopanax crassifolius
 - Leptospermum 'Copper Sheen'
 - Sophora microphylla
 - Gleditsia spp.
- INDICATIVE FRUIT TREE SPECIES**
- Feijoa spp.
 - Citrus spp.
 - Malus spp.
 - Prunus spp.
 - Pyrus spp.
- INDICATIVE SHRUB & GROUND COVER SPECIES**
- Libertia spp.
 - Muehlenbeckia spp.
 - Phormium spp.
 - Astelia spp.
 - Carex spp.
 - Dianella spp.
 - Corokia spp.
 - Chinochloa flavicans
 - Mondo grass
 - Alternanthera 'Little Ruby'
 - Arthropodium spp.
 - Pratia angulata
 - Lomandra spp.
 - Hebe spp.
 - Griselinia littoralis
 - Pittosporum spp.
- Planting around car parks to be low, dense and robust for visibility and to prevent vehicle access.
- Planting in visibility splay to be max. 1.0m high for vehicle visibility.

REFER SHEET RC-LD-1701

C H U R C H S T

Approved District Planning
Consent Documents
LUC23/0103
Sheet 9 of 16
Ashburton District Council

REV	DATE	BY	ISSUE
B	14.05.24	AZ	RESOURCE CONSENT
A	14.08.23	AZ	RESOURCE CONSENT

Kamo Marsh

Te Uruti Building, 48 Hereford St, PO Box 2833, Christchurch 8140
Mountaineer Building, 32 Rees St, Queenstown 9300

T: 03 3668 181
E: admin@kamomash.co.nz
W: kamomash.co.nz

Design AZ	Date 04.09.23
Drawn AZ/DN	Scale 1:250@A3
Check AP	
REF. NO. 5252_V_68	PAGE REVISION RC-LD-1702 B

HDS-7-15 Church Street, Ashburton - AR109524

7-15 Church Street,
Hampstead,
Ashburton 7700

General Arrangement Sheet List

No.	Name
0-00.00	Cover Sheet
0-11.01	Existing Site Plan
0-11.02	Axonometric View
0-11.03	Bulk and Location Plan - Ground Floor
0-11.04	Bulk and Location Plan - First Floor
0-16.01	General Arrangement Elevations
0-16.02	General Arrangement Elevations
0-17.01	Shading Diagrams - Summer solstice
0-17.02	Shading Diagrams - Winter solstice
0-17.03	Shading Diagrams - Autumn Equinox
0-17.04	Shading Diagrams Spring Equinox



Approved District Planning
Consent Documents
LUC23/0103
Sheet 10 of 16
Ashburton District Council

Status: **RESOURCE CONSENT**

Hierarchy Group.

Issue Date: 31/08/23
 Drawn By: KTC Checked By: LH
 Scale: @ A1 Project No: H1259-060
 Sheet Name:
Cover Sheet

Sheet No: 0-00.00 Rev No: 0

Copyright ©
 These plans remain the property of Hierarchy Group Ltd and are protected by copyright. They shall not be copied in any form or passed on to a third party without prior written consent. Do not scale. Original drawing in colour.

SCALE SUMMARY

1000 @ A1 = 2000 @ A3	100 @ A1 = 200 @ A3
500 @ A1 = 1000 @ A3	50 @ A1 = 100 @ A3
250 @ A1 = 500 @ A3	25 @ A1 = 50 @ A3
200 @ A1 = 400 @ A3	20 @ A1 = 40 @ A3
150 @ A1 = 300 @ A3	15 @ A1 = 30 @ A3

GENERAL DEMOLITION NOTES

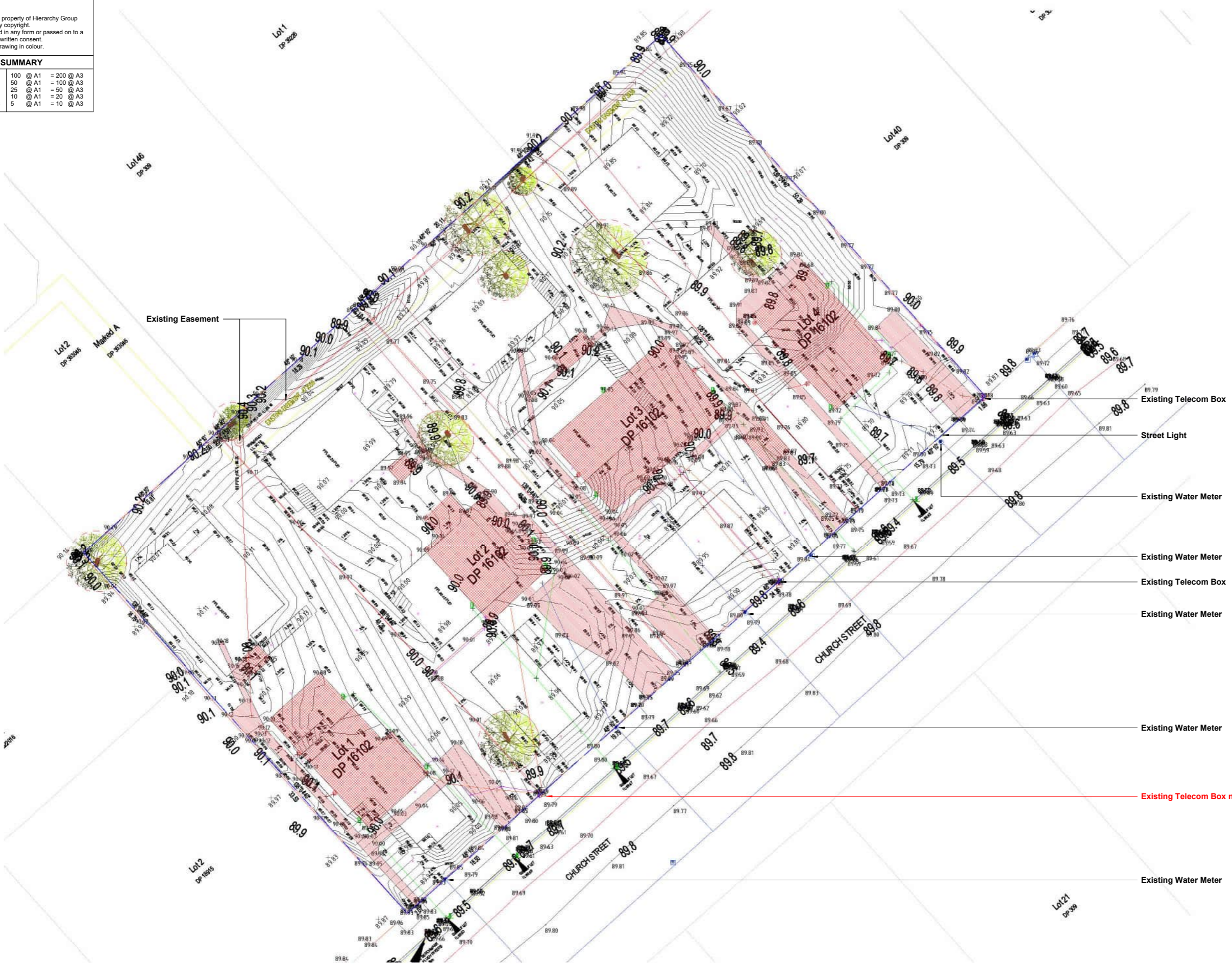
- The demolition drawings are to be read in conjunction with the relevant specification sections.
- All demolition work is to be carried out in accordance with NZDAA best practice guidelines for demolition.
- All existing building information is to be read in conjunction with the surveyors drawings.
- All demolition work is to be carried out in accordance with any of the local council conditions. The main contractor is to check and verify conditions that may apply prior to the commencement of demolition.
- The words 'demolish' and 'demolition' means to pull or knock down and clear off the site completely the parts of the building required to be pulled or knocked down.
- Ensure all existing services are located and identified prior to commencing demolition. All services that are not required to be maintained during the demolition work shall be properly disconnected and sealed off before any demolition work commences.
- Remove all redundant services associated accessories/cap/make good all redundant drainage associated with demolition works.
- Additional demolition work may be required to be carried out that has not been identified in red in the demolition drawings in order to construct the new works. The tenderer/contractor to visit the site to confirm the exact scope of demolition work required to be carried out and any additional work is to be included in the tender price. The demolition drawings are to be read in conjunction with the drawings associated with the proposed works.
- Contractor to notify superintendent immediately in the event of finding materials suspected to contain asbestos.
- Security fences shall be provided and all required precautionary measures taken as may be necessary to prevent unauthorized entry to the demarcated area of works. Notices displaying the words "DANGER DEMOLITION IN PROGRESS" or similar shall be fixed to the fencing at appropriate places to warn the public. Provision shall be made for ready access to the site by emergency services personnel in the event of fire or accident. Contractor to confirm precautionary measures prior to commencement of demolition.
- The effects of vibration and dust shall be minimized, as far as practicable, by selecting demolition methods and equipment appropriate to the circumstances.
- No part of any structure shall be left unsupported or unattended in such a condition that it may collapse or become dangerous. Precautions shall be taken to ensure that the stability of all parts of the structure and the safety of persons on and outside the site will be maintained in the event of sudden and severe weather changes.
- Walls shall not be laterally loaded by accumulated debris or rubble, to the extent that they are in danger of collapse.
- Dust generated during stripping, or during the breaking down of the building fabric to removable sized pieces, shall be kept damp until it is removed from the site or can be otherwise contained.
- Precautions shall be taken to minimize the spreading of mud and debris by vehicles entering and leaving the site. Contractor to take adequate measures to minimize noise levels as part of the construction process.
- The exact extent of landscaping (both hard (concrete etc.) and soft (vegetation etc.) to be demolished or cut down and removed from site is to be determined on site. The extent and quantum indicated on this drawing is indicative.

DEMOLITION LEGEND

Extent of building demolition	[Red hatched pattern]
Extent of paving demolition	[Red solid pattern]
Extent of vegetation removed	[Green dashed line]

SURVEY DISCLAIMER

This drawing has been prepared by Graham Surveying Limited solely for the benefit and use by our client in accordance with the terms of our engagement and client instructions.



Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 11 of 16
 Ashburton District Council

1 Existing Site and Demolition Plan
 Scale 1 : 200 @ A1



Project:
 HDS-7-15 Church Street, Ashburton - AR109524
 Address:
 7-15 Church Street,
 Hampstead,
 Ashburton 7700

No:
 H1259-060

Revision Schedule		
Rev.	Description	Date
0	Building Consent	31/08/23

Status:	RESOURCE CONSENT
Issue Date:	31/08/23
Drawn By:	KTC
Checked By:	LH
Scale:	As indicated @ A1

Sheet Name:	Existing Site Plan
Sheet No:	0-11.01
Rev No:	0

Copyright ©
 These plans remain the property of Hierarchy Group Ltd and are protected by copyright. They shall not be copied in any form or passed on to a third party without prior written consent. Do not scale. Original drawing in colour.

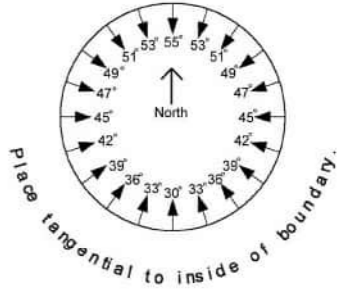
SCALE SUMMARY

1000 @ A1 = 2000 @ A3	100 @ A1 = 200 @ A3
500 @ A1 = 1000 @ A3	50 @ A1 = 100 @ A3
250 @ A1 = 500 @ A3	25 @ A1 = 50 @ A3
200 @ A1 = 100 @ A3	10 @ A1 = 20 @ A3
150 @ A1 = 300 @ A3	5 @ A1 = 10 @ A3



Recession Planes	
Elevation	Description
East Elevation	2.3m + 50° East Recession Plane
North Elevation	2.3m + 50° North Recession Plane
South Elevation	3m - Street Setback
West Elevation	2.3m + 38° West Recession Plane

COMPLIANCE WITH RECESSION PLANES	
House 1-13	Yes



1 Axometric View 1
 Scale NTS



2 Axometric View 2
 Scale @ A1

Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 12 of 16
 Ashburton District Council



Project: HDS-7-15 Church Street, Ashburton - AR109524
 Address: 7-15 Church Street, Hampstead, Ashburton 7700
 No: H1259-060

Revision Schedule		
Rev.	Description	Date
0	Building Consent	31/08/23

RESOURCE CONSENT	
Status:	RESOURCE CONSENT
Issue Date:	31/08/23
Drawn By:	KTC
Checked By:	LH
Scale:	1 : 100 @ A1

Sheet Name:	Axonometric View
Sheet No:	0-11.02
Rev No:	0

Copyright ©
 These plans remain the property of Hierarchy Group Ltd and are protected by copyright. They shall not be copied in any form or passed on to a third party without prior written consent. Do not scale. Original drawing in colour.

SCALE SUMMARY

1000 @ A1 = 2000 @ A3	100 @ A1 = 200 @ A3
500 @ A1 = 1000 @ A3	50 @ A1 = 100 @ A3
250 @ A1 = 500 @ A3	25 @ A1 = 50 @ A3
200 @ A1 = 100 @ A3	10 @ A1 = 20 @ A3
150 @ A1 = 300 @ A3	5 @ A1 = 10 @ A3

LINE TYPES LEGEND

	Site Boundary
	Existing Boundary
	Setbacks
	New Internal Boundary

NOTE:
 Exposed aggregate. Finishes to be crushed aggregate and compliant with Slip Resistance requirements of D1
 Site levels for reference only. Refer to Civil Engineers documentation for grading and site levels.
 Refer to Kamo Marsh drawing set
 For all hard and soft landscaping setout and plant species.

HANDRAILS AND RAMPS NOTES
 All external steps for FUD to have a maximum riser of 120mm and a minimum tread of 310mm with a clear width of 1200mm, and have the ability to install handrails in the future if required. All steps will require handrails where the change in level is more than 500mm high.
 Accessible ramps are to be set at a maximum slope of 1:12 with a clear width of 1200mm.
 Where the surface of an accessible route is more than 25mm above the adjacent ground, protection is to be provided by a 75 mm high ramp edge.
 Handrails to be between 0.9m and 1m max. high Juralco VIKING balustrade system as per specification.

LEGAL DESCRIPTION
 Address: 7 Church Street, Ashburton, Canterbury, 7700
 Lot / DP / CB 1.2,3&4 / DP 16102

ZONING INFO:
 Wind Region: A
 Earthquake Zone: 1
 Exposure: B
 Wind Zone: Medium
 Planning Zone: C
 Flood Management Zone: NO

GENERAL NOTES:
 All dimensions are nominal and are to be checked on site before commencing work.
 Dimensions are showing to cladding face.
 All work to comply with the relevant section of the New Zealand Building Code.
 Location of water supply, power & phone to be confirmed.

MASTERPLANNING LEGEND

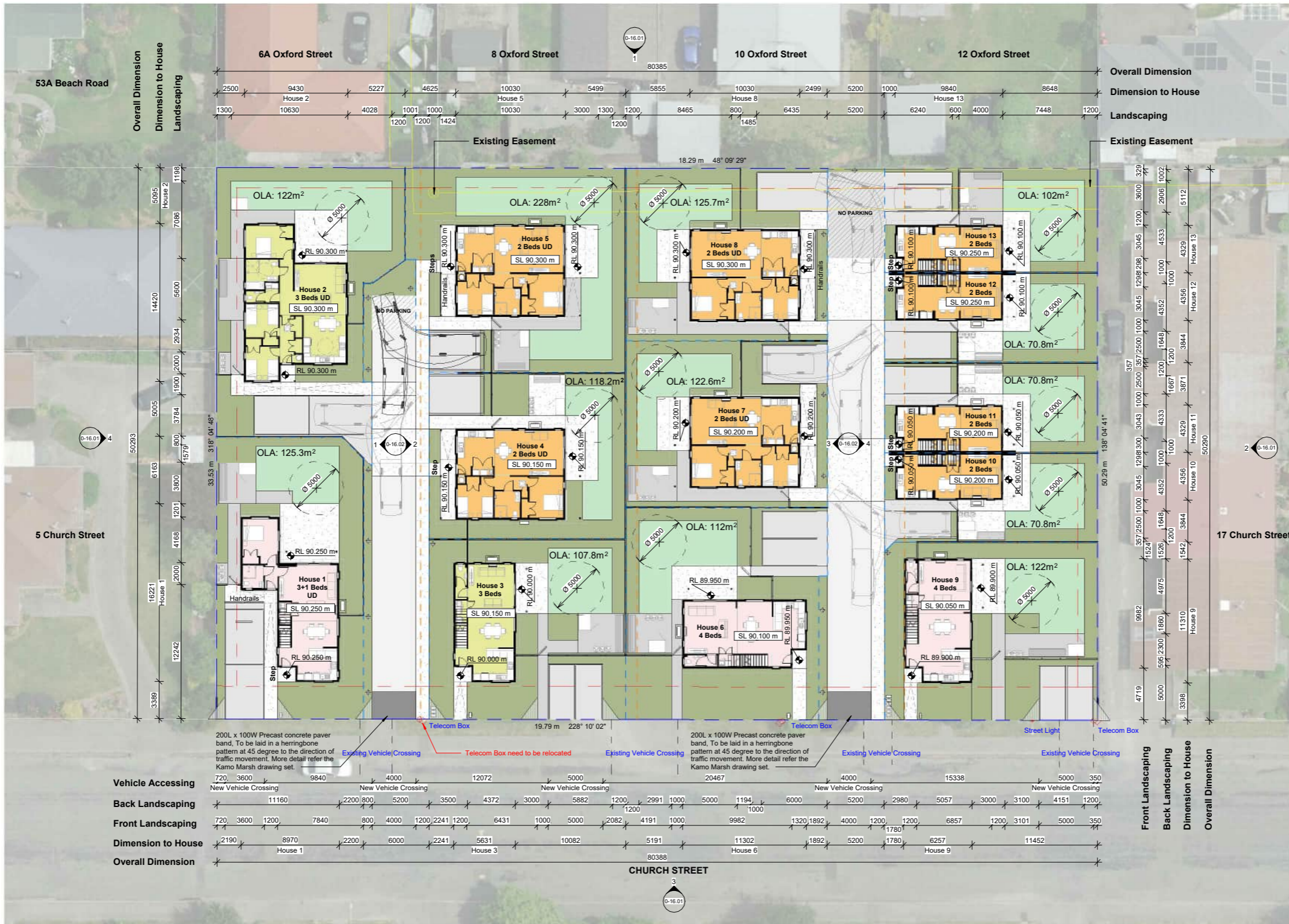
1 Bedroom House:	
2 Bedroom House:	
3 Bedroom House:	
4 Bedroom House:	
5 Bedroom House:	
Driveway:	
Footpath:	
Lawn Area:	
Landscaping:	
Waste & Recycle Areas:	
Refuse Bins:	
Timber Decking:	
Clotheslines (Fold out): 1.2m above FFL	
Letter Boxes:	
New Water Meters:	
Visibility splay: 2m x 1.5m	
Lighting Bollard:	

Kainga Ora Typology Legend

Unit Number	Building Name	GFA
1	H.05.01.01.U.D	135.0m²
2	RH.04.01.01.U.D	106.4m²
3	E.05.01.02	112.97m²
4	RF.04.01.01.U.D	81.5m²
5	RF.04.01.01.U.D	81.5m²
6	O.05.01.02	131.16m²
7	RF-M.04.01.01.U.D	81.5m²
8	RF-M.04.01.01.U.D	81.5m²
9	O.05.01.02	131.16m²
10&11	B.05.01.01	79.25m² per unit
12&13	B.05.01.01	79.25m² per unit

BULK & LOCATION
 Address: 7-15 Church Street, Ashburton
 Total Site Area: 4042.7 m²

Building Coverage:	Provided	Required/Maximum
House 1:	84m²	m²
House 2:	113.8m²	m²
House 3:	60.7m²	m²
House 4&5:	98m² each	m²
House 6&9:	70m² each	m²
House 7&8:	98m² each	m²
House 10&11:	43.2m² each	m²
House 12&13:	43.2m² each	m²
Total:	963.3m²	m² max (35%)
Parking:	13 bays	13 bays
Bicycle Parks:	1 (In Shed)	(1 per House)
Building Setback:	>1.8m	1.8m
Road Setback:	3m	3m
Building Height:	<8m	8m



Vehicle Accessing

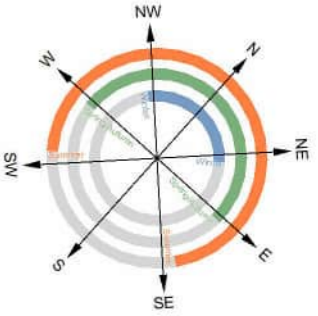
200L x 100W Precast concrete paver band. To be laid in a herringbone pattern at 45 degree to the direction of traffic movement. More detail refer the Kamo Marsh drawing set.	Existing Vehicle Crossing	Existing Vehicle Crossing	Existing Vehicle Crossing	Existing Vehicle Crossing	Existing Vehicle Crossing
720 3600	9840	12072	5000	20467	15338
New Vehicle Crossing	New Vehicle Crossing	New Vehicle Crossing	New Vehicle Crossing	New Vehicle Crossing	New Vehicle Crossing
11160	2200 800 5200 3500 4372 3000 5882 1200 2991 1000 5000 1194 1000 6000 5200 2980 5057 3000 3100 4151 1200				
720 3600 1200 7840 800 4000 1200 2241 1200 6431 1000 5000 2082 4191 1000 9982 1320 1892 4000 1200 1200 6857 1200 3101 5000 350					
2190 8970 2200 6000 2241 5631 10082 5191 11302 1892 5200 1780 6257 11452					

Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 13 of 16
 Ashburton District Council

1 Ground Floor
 Scale 1: 200 @ A1

			Project: HDS-7-15 Church Street, Ashburton - AR109524 Address: 7-15 Church Street, Hampstead, Ashburton 7700	No: H1259-060
			Revision Schedule Rev. 0	Status: RESOURCE CONSENT Issue Date: 31/08/23 Drawn By: KTC Checked By: LH

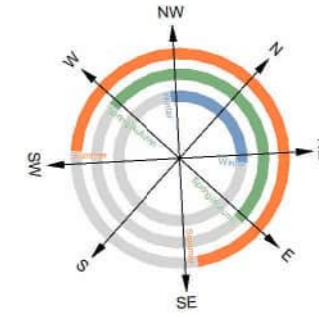
Sheet Name: Bulk and Location Plan - Ground Floor
 Sheet No: 0-11.03
 Rev No: 0



Copyright ©
 These plans remain the property of Hierarchy Group Ltd and are protected by copyright.
 They shall not be copied in any form or passed on to a third party without prior written consent.
 Do not scale. Original drawing in colour.

SCALE SUMMARY

1000 @ A1 = 2000 @ A3	100 @ A1 = 200 @ A3
500 @ A1 = 1000 @ A3	50 @ A1 = 100 @ A3
250 @ A1 = 500 @ A3	25 @ A1 = 50 @ A3
200 @ A1 = 100 @ A3	10 @ A1 = 20 @ A3
150 @ A1 = 300 @ A3	5 @ A1 = 10 @ A3



LEGAL DESCRIPTION

Address: 7 Church Street, Ashburton, Canterbury, 7700
 Lot / DP / CB 1,2,3&4 / DP 16102

ZONING INFO:

Wind Region:	A
Earthquake Zone:	1
Exposure:	B
Wind Zone:	Medium
Planning Zone:	C
Flood Management Zone:	NO

GENERAL NOTES:

All dimensions are nominal and are to be checked on site before commencing work.
 Dimensions are showing to cladding face.
 All work to comply with the relevant section of the New Zealand Building Code.
 Location of water supply, power & phone to be confirmed.

MASTERPLANNING LEGEND

1 Bedroom House:	[Color swatch]
2 Bedroom House:	[Color swatch]
3 Bedroom House:	[Color swatch]
4 Bedroom House:	[Color swatch]
5 Bedroom House:	[Color swatch]
Driveway:	[Color swatch]
Footpath:	[Color swatch]
Lawn Area:	[Color swatch]
Landscaping:	[Color swatch]
Waste & Recycle Areas:	[Color swatch]
Refuse Bins:	[Icon]
Timber Decking:	[Icon]
Clotheslines (Fold out): 1.2m above FFL	[Icon]
Letter Boxes:	[Icon]
New Water Meters:	[Icon]
Visibility splay: 2m x 1.5m	[Icon]
Lighting Bollard	[Icon]

BULK & LOCATION

Address: 7-15 Church Street, Ashburton
 Total Site Area: 4042.7 m²

	Provided	Required/Maximum
Building Coverage:		
House 1:	84m ²	m ²
House 2:	113.8m ²	m ²
House 3:	60.7m ²	m ²
House 4&5:	98m ² each	m ²
House 6&9:	70m ² each	m ²
House 7&8:	98m ² each	m ²
House 10&11:	43.2m ² each	m ²
House 12&13:	43.2m ² each	m ²
Total:	963.3m ²	m ² max (35%)
Parking:	13 bays	13 bays
Bicycle Parks:	1 (In Shed)	(1 per House)
Building Setback:	>1.8m	1.8m
Road Setback:	3m	3m
Building Height:	<8m	8m

Kainga Ora Typology Legend

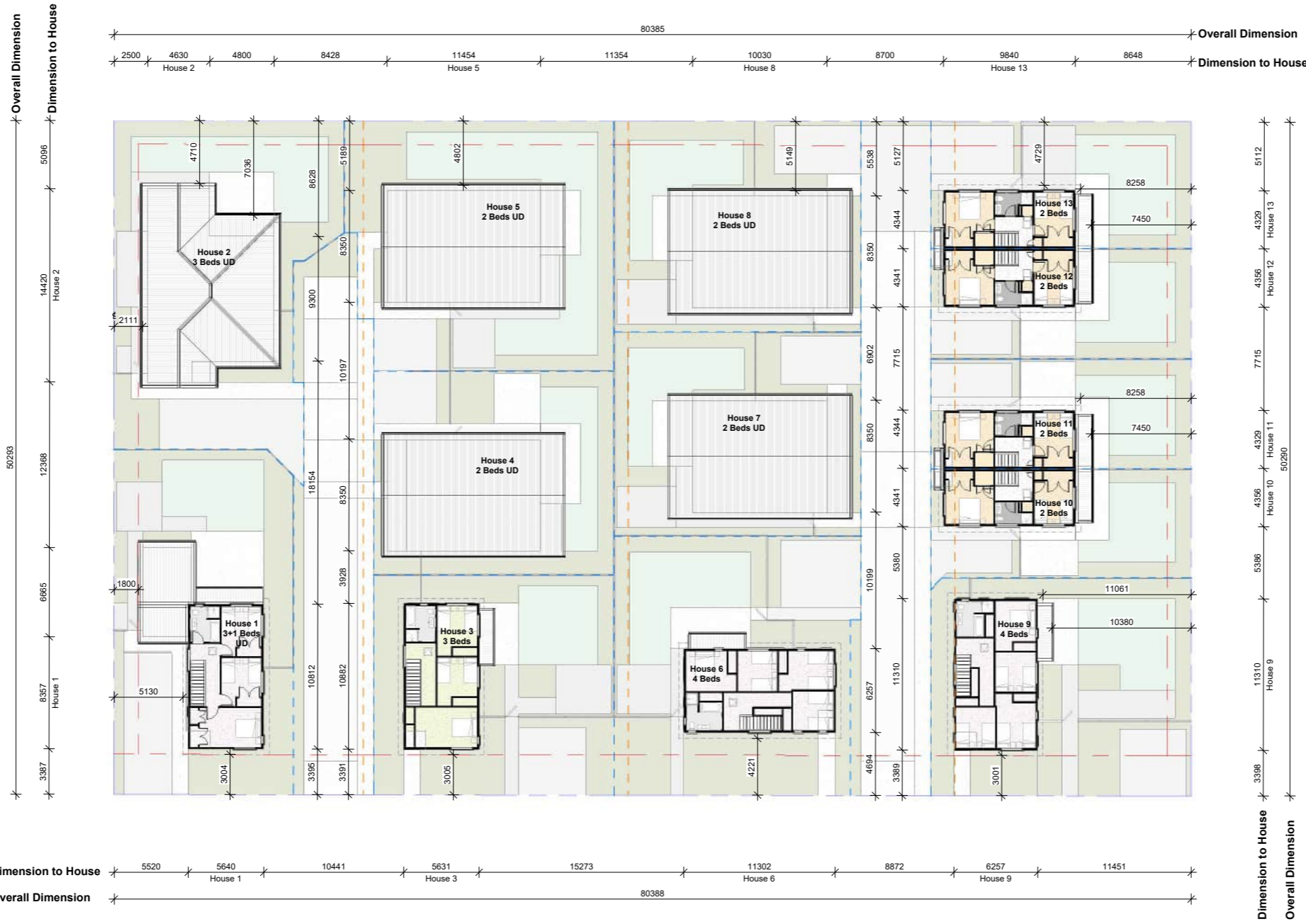
Unit Number	Building Name	GFA
1	H.05.01.01 UD	135.0m ²
2	RH.04.01.01 UD	106.4m ²
3	E.05.01.02	112.97m ²
4	RF.04.01.01 UD	81.5m ²
5	RF.04.01.01 UD	81.5m ²
6	O.05.01.02	131.16m ²
7	RF-M.04.01.01 UD	81.5m ²
8	RF-M.04.01.01 UD	81.5m ²
9	O.05.01.02	131.16m ²
10&11	B.05.01.01	79.25m ² per unit
12&13	B.05.01.01	79.25m ² per unit

LINE TYPES LEGEND

[Blue dashed line]	Site Boundary
[Orange dashed line]	Existing Boundary
[Red dashed line]	Setbacks
[Blue dashed line]	New Internal Boundary

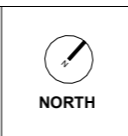
NOTE:

Exposed aggregate Finishes to be crushed aggregate and compliant with Slip Resistance requirements of D1
 Site levels for reference only.
 Refer to Civil Engineers documentation for grading and site levels.
 Refer to Kamo Marsh drawing set
 For all hard and soft landscaping setout and plant species.



1 First Floor
 Scale 1 : 200 @ A1

Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 14 of 16
 Ashburton District Council



Project: HDS-7-15 Church Street, Ashburton - AR109524
 Address: 7-15 Church Street, Hampstead, Ashburton 7700
 No: H1259-060

Revision Schedule

Rev.	Description	Date
0	Building Consent	31/08/23

RESOURCE CONSENT

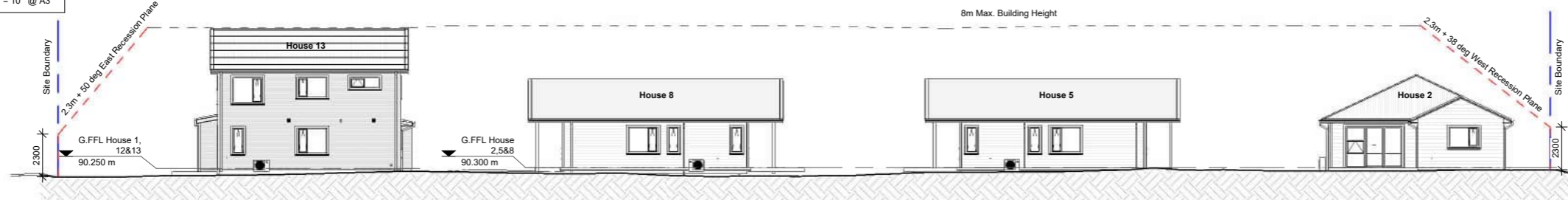
Status:	RESOURCE CONSENT
Issue Date:	31/08/23
Drawn By:	KTC
Checked By:	LH
Scale:	As indicated @ A1

Sheet Name: Bulk and Location Plan - First Floor
 Sheet No: 0-11.04
 Rev No: 0

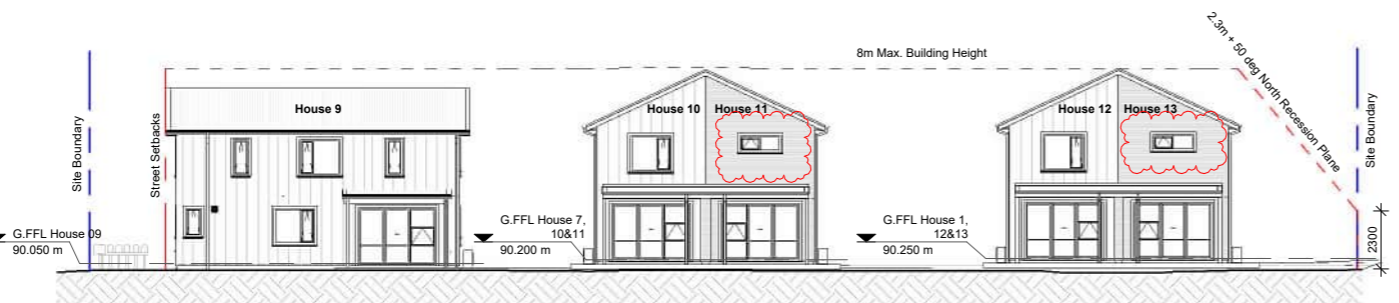
Copyright ©
 These plans remain the property of Hierarchy Group Ltd and are protected by copyright.
 They shall not be copied in any form or passed on to a third party without prior written consent.
 Do not scale. Original drawing in colour.

SCALE SUMMARY

1000 @ A1 = 2000 @ A3	100 @ A1 = 200 @ A3
500 @ A1 = 1000 @ A3	50 @ A1 = 100 @ A3
250 @ A1 = 500 @ A3	25 @ A1 = 50 @ A3
200 @ A1 = 400 @ A3	20 @ A1 = 40 @ A3
150 @ A1 = 300 @ A3	15 @ A1 = 30 @ A3



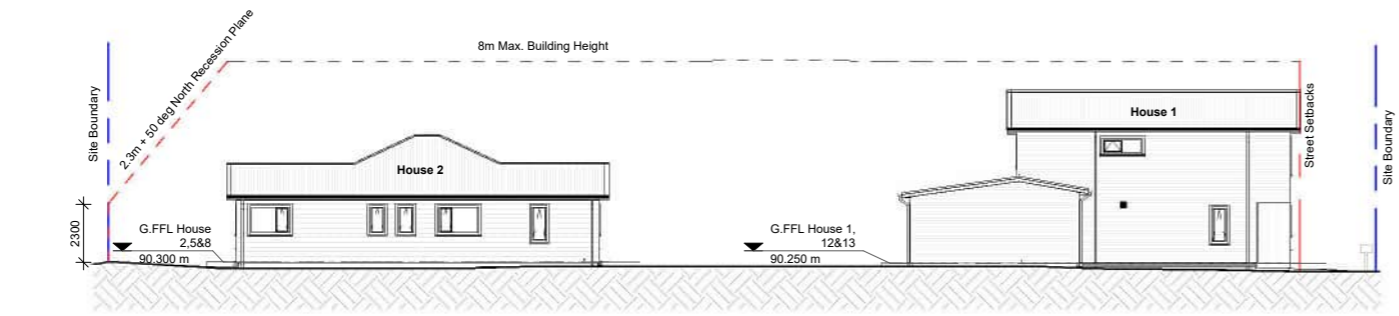
1 North Elevation
 0-11.03 Scale 1 : 150 @ A1



2 East Elevation
 0-11.03 Scale 1 : 150 @ A1



3 South Elevation
 0-11.03 Scale 1 : 150 @ A1



4 West Elevation
 0-11.03 Scale 1 : 150 @ A1

ELEVATION LEGEND

Wall Cladding 1 Colour	Fibre Cement Weatherboard Refer to material specifications
Wall Cladding 2 Colour	Board and Batten Cladding Refer to material specifications
Roof Cladding Colour	Colorsteel Corrugated Roofing Refer to material specifications

MAXIMUM HEIGHT

Maximum Height	8.0 Meters*
*District Plan Rule: 4.9.3 - Height of Buildings	

NOTE:
 Clothes lines, Garden Sheds, Rubbish Bins and Vehicles are excluded from views

NOTE:
 Exposed aggregate Finishes to be crushed aggregate and compliant with Slip Resistance requirements of D1
 Site levels for reference only
 Refer to Civil Engineers documentation for grading and site levels.
 Refer to Kamo Marsh drawing set
 For all hard and soft landscaping setout and plant species.

COMPLIANCE WITH RECESSION PLANES

House 1-13	Yes
------------	-----

ELEVATION LEGEND HOUSE 1&3

Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Glinks Gully Double	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Mt Aspiring 1/4	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Colorsteel Sandstone Grey	
Timber Post Colour:	Dulux Glinks Gully Double	
Aluminium Joinery Colour:	Sandstone Grey Matt	
Soffit & Trims Colour:	Sandstone Grey	
Timber Colour:	Fences Colour Resene Shadow Match	

ELEVATION LEGEND HOUSE 2, 4, 6, 7&8

Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Glinks Gully Double	
Wall Boxed Corner:	Dulux Mt Aspiring 1/4	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Colorsteel Sandstone Grey	
Timber Post Colour:	Sandstone Grey	
Aluminium Joinery Colour:	Sandstone Grey Matt	
Soffit & Trims Colour:	Sandstone Grey	
Timber Colour:	Fences Colour Resene Shadow Match	

ELEVATION LEGEND HOUSE 10&11, 12&13

Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Basset Brown	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Mt Aspiring 1/4	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Colorsteel Sandstone Grey	
Timber Post Colour:	Sandstone Grey	
Aluminium Joinery Colour:	Sandstone Grey Matt	
Soffit & Trims Colour:	Sandstone Grey	
Timber Colour:	Fences Colour Resene Shadow Match	

ELEVATION LEGEND HOUSE 6&9

Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Basset Brown	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Glinks Gully Double	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Colorsteel Sandstone Grey	
Timber Post Colour:	Dulux Glinks Gully Double	
Aluminium Joinery Colour:	Sandstone Grey Matt	
Soffit & Trims Colour:	Sandstone Grey	
Timber Colour:	Fences Colour Resene Shadow Match	

Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 15 of 16
 Ashburton District Council



Client:
 Project:
 HDS-7-15 Church Street, Ashburton - AR109524
 Address:
 7-15 Church Street, Hampstead, Ashburton 7700

No: H1259-060

Rev.	Description	Date
0		31/08/23
A	Building Consent RC RFI	26/04/24

Status: **RESOURCE CONSENT**

Issue Date:	26/04/24
Drawn By:	KTC
Checked By:	LH
Scale:	As indicated @ A1

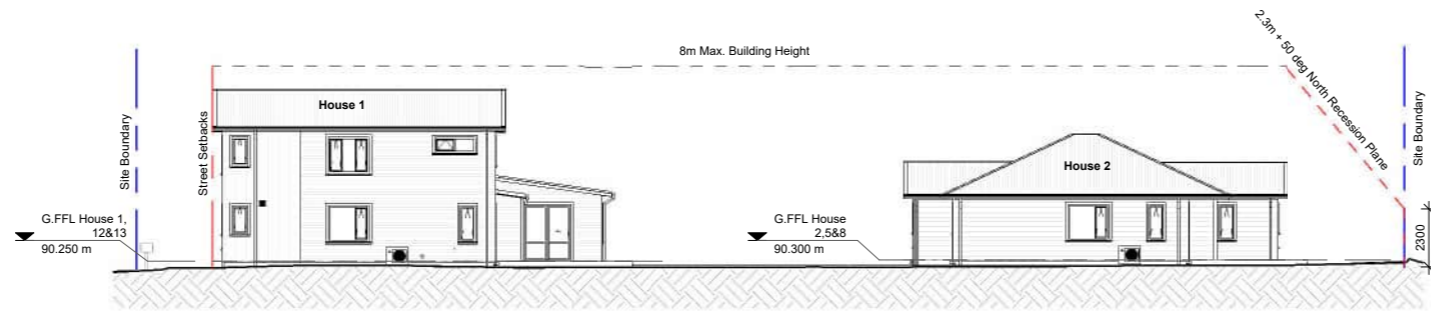
Sheet Name:
General Arrangement Elevations

Sheet No:	0-16.01	Rev No:	A
-----------	---------	---------	---

Copyright ©
 These plans remain the property of Hierarchy Group Ltd and are protected by copyright. They shall not be copied in any form or passed on to a third party without prior written consent. Do not scale. Original drawing in colour.

SCALE SUMMARY

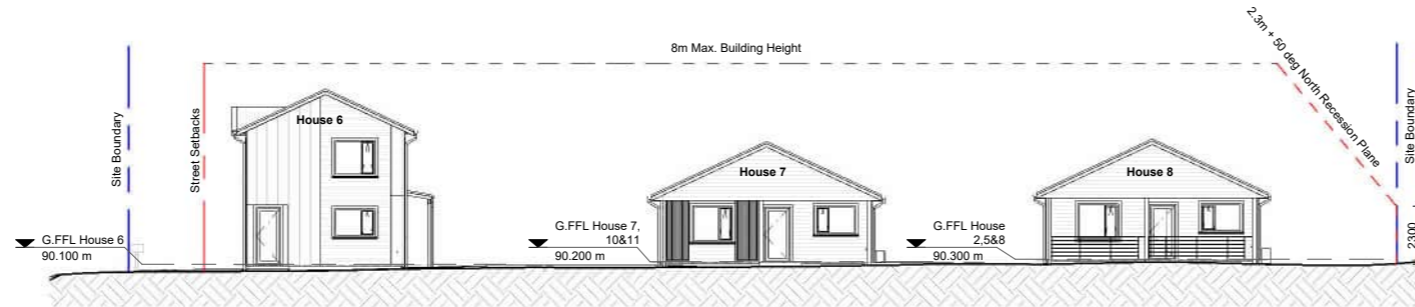
1000 @ A1	= 2000 @ A3	100 @ A1	= 200 @ A3
500 @ A1	= 1000 @ A3	50 @ A1	= 100 @ A3
250 @ A1	= 500 @ A3	25 @ A1	= 50 @ A3
200 @ A1	= 100 @ A3	10 @ A1	= 20 @ A3
150 @ A1	= 300 @ A3	5 @ A1	= 10 @ A3



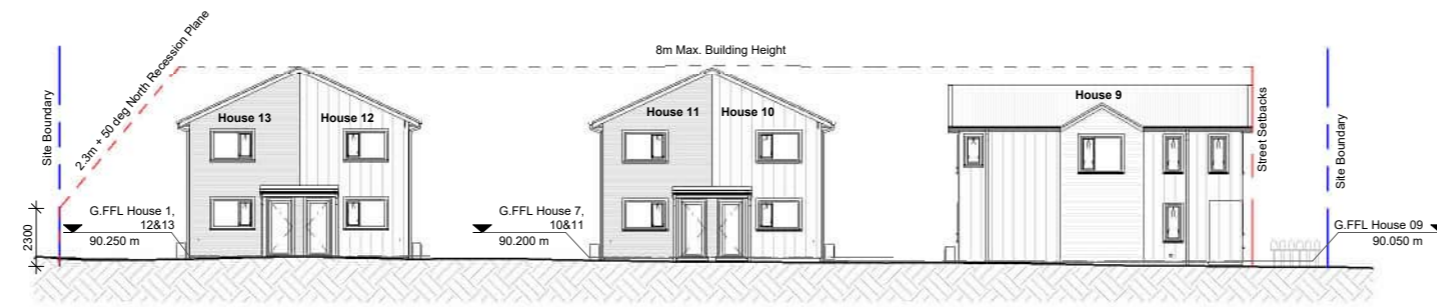
1 Elevation a
 0-11.03 Scale 1 : 150 @ A1



2 Elevation b
 0-11.03 Scale 1 : 150 @ A1



3 Elevation c
 0-11.03 Scale 1 : 150 @ A1



4 Elevation d
 0-11.03 Scale 1 : 150 @ A1

ELEVATION LEGEND	
Wall Cladding 1 Colour	Fibre Cement Weatherboard Refer to material specifications
Wall Cladding 2 Colour	Board and Batten Cladding Refer to material specifications
Roof Cladding Colour	Colorsteel Corrugated Roofing Refer to material specifications

Recession Planes	
Elevation	Description
East Elevation	2.3m + 50 ° East Recession Plane
North Elevation	2.3m + 50 ° North Recession Plane
South Elevation	3m - Street Setback
West Elevation	2.3m + 38 ° West Recession Plane

MAXIMUM HEIGHT	
Maximum Height	8.0 Meters*
*District Plan Rule: 4.9.3 - Height of Buildings	

NOTE
 Clothes lines, Garden Sheds, Rubbish Bins and Vehicles are excluded from views

NOTE:
 Exposed aggregate Finishes to be crushed aggregate and compliant with Slip Resistance requirements of D1
 Site levels for reference only.
 Refer to Civil Engineers documentation for grading and site levels.
 Refer to Kamo Marsh drawing set
 For all hard and soft landscaping setout and plant species.

ELEVATION LEGEND HOUSE 1&3		
Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Glinks Gully Double	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Mt Aspiring 1/4	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Colorsteel Sandstone Grey	
Timber Post Colour:	Dulux Glinks Gully Double	
Aluminium Joinery Colour:	Sandstone Grey Matt	
Sofft & Trims Colour:	Sandstone Grey	
Timber Colour:	Fences Colour Resene Shadow Match	

ELEVATION LEGEND HOUSE 2, 4, 6, 7&8		
Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Glinks Gully Double	
Wall Boxed Conner	Dulux Mt Aspiring 1/4	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Colorsteel Sandstone Grey	
Timber Post Colour:	Sandstone Grey	
Aluminium Joinery Colour:	Sandstone Grey Matt	
Sofft & Trims Colour:	Sandstone Grey	
Timber Colour:	Fences Colour Resene Shadow Match	

ELEVATION LEGEND HOUSE 10&11, 12&13		
Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Basset Brown	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Mt Aspiring 1/4	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Colorsteel Sandstone Grey	
Timber Post Colour:	Sandstone Grey	
Aluminium Joinery Colour:	Sandstone Grey Matt	
Sofft & Trims Colour:	Sandstone Grey	
Timber Colour:	Fences Colour Resene Shadow Match	

ELEVATION LEGEND HOUSE 6&9		
Wall Cladding 1 Colour:	Weatherboard Cladding Dulux Basset Brown	
Wall Cladding 2 Colour:	Board and Batten Cladding Dulux Glinks Gully Double	
Roof Cladding Colour:	Colorsteel Corrugated Roofing Colorsteel Sandstone Grey	
Timber Post Colour:	Dulux Glinks Gully Double	
Aluminium Joinery Colour:	Sandstone Grey Matt	
Sofft & Trims Colour:	Sandstone Grey	
Timber Colour:	Fences Colour Resene Shadow Match	

Approved District Planning
 Consent Documents
 LUC23/0103
 Sheet 16 of 16
 Ashburton District Council



Client:
 Project: HDS-7-15 Church Street, Ashburton - AR109524
 Address: 7-15 Church Street, Hampstead, Ashburton 7700
 No: H1259-060

Revision Schedule		
Rev.	Description	Date
0	Building Consent	31/08/23

RESOURCE CONSENT	
Status:	RESOURCE CONSENT
Issue Date:	31/08/23
Drawn By:	KTC
Checked By:	LH
Scale:	As indicated @ A1

Sheet Name:	
General Arangement Elevations	
Sheet No:	0-16.02
Rev No:	0