

6-10 Orr Street - AR109526

6-10 Orr Street
Netherby
Ashburton, 7700

General Arrangement Sheet List		
No.	Name	Current Revision
0-00.00	Cover Sheet	A
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0-16.03	Shading Diagrams - Winter & Summer	A
0-16.07	Shading Diagrams- Spring & Fall	A



Status: **Resource Consent**

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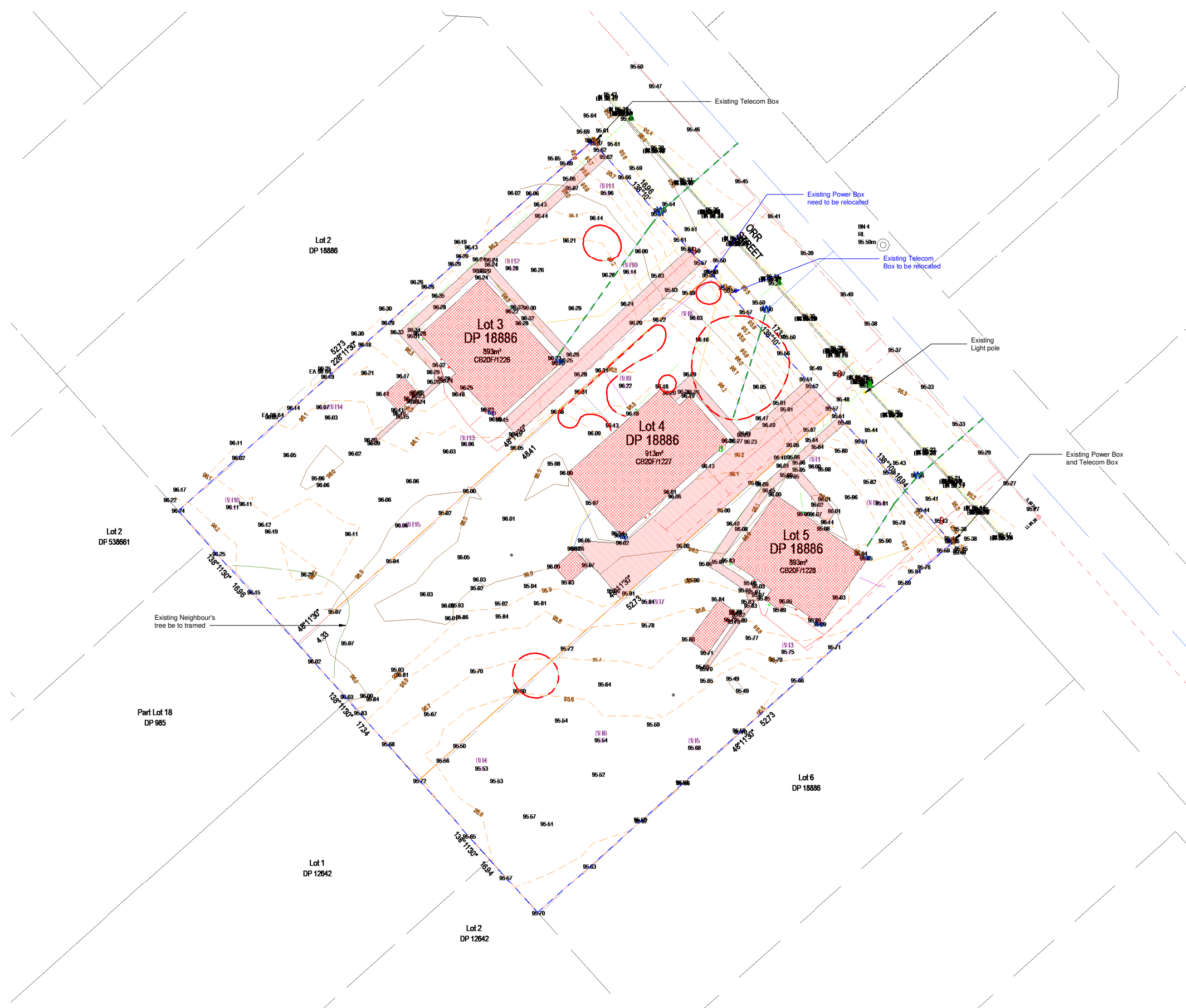
Issue Date: **19/03/2024**

Drawn By: **KTC** Checked By: **MG**

Scale: **@ A1** Project No: **H1259-117**

Sheet Name: **Cover Sheet**

Sheet No: **0-00.00** Rev No: **A**



GENERAL DEMOLITION NOTES

- The demolition drawings are to be read in conjunction with the relevant specification sections.
- All demolition work is to be carried out in accordance with NZDAA best practice guidelines for demolition.
- All existing building information is to be read in conjunction with the surveyors drawings.
- All demolition work is to be carried out in accordance with any of the local council conditions. The main contractor is to check and verify conditions that may apply prior to the commencement of demolition.
- The words 'demolish' and 'demolition' means to pull or knock down and clear off the site completely the parts of the building required to be pulled or knocked down.
- Ensure all existing services are located and identified prior to commencing demolition. All services that are not required to be maintained during the demolition work shall be properly disconnected and sealed off before any demolition work commences.
- Remove all redundant services associated accessories/cap/make good all redundant drainage associated with demolition works.
- Additional demolition work may be required to be carried out that has not been identified in red in the demolition drawings in order to construct the new works. The tenderer/contractor to visit the site to confirm the exact scope of demolition work required to be carried out and any additional work is to be included in the tender price. The demolition drawings are to be read in conjunction with the drawings associated with the proposed works.
- Contractor to notify superintendent immediately in the event of finding materials suspected to contain asbestos.
- Security fences shall be provided and all required precautionary measures taken as may be necessary to prevent unauthorized entry to the demarcated area of works. Notices displaying the words DANGER DEMOLITION IN PROGRESS or similar shall be fixed to the fencing at appropriate places to warn the public. Provision shall be made for ready access to the site by emergency services personnel in the event of fire or accident. Contractor to confirm precautionary measures prior to commencement of demolition.
- The effects of vibration and dust shall be minimized, as far as practicable, by selecting demolition methods and equipment appropriate to the circumstances.
- No part of any structure shall be left unsupported or unattended in such a condition that it may collapse or become dangerous. Precautions shall be taken to ensure that the stability of all parts of the structure and the safety of persons on and outside the site will be maintained in the event of sudden and severe weather changes.
- Walls shall not be laterally loaded by accumulated debris or rubble, to the extent that they are in danger of collapse.
- Dust generated during stripping, or during the breaking down of the building fabric to removable sized pieces, shall be kept damp until it is removed from the site or can be otherwise contained.
- Precautions shall be taken to minimize the spreading of mud and debris by vehicles entering and leaving the site. Contractor to take adequate measures to minimize noise levels as part of the construction process.
- The exact extent of landscaping (both hard (concrete etc.) and soft (vegetation etc.) to be demolished or cut down and removed from site is to be determined on site. The extent of the hard landscaping is to be determined on site. The extent and quantum indicated on this drawing is indicative.

DEMOLITION LEGEND

Extent of building demolition	
Extent of paving demolition	
Extent of vegetation removed	

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1 Existing Site and Demolition Plan
Scale 1 : 200 @ A1



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Project:
6-10 Orr Street - AR109526
Address:
**6-10 Orr Street
Netherby
Ashburton, 7700**

No:
H1259-117

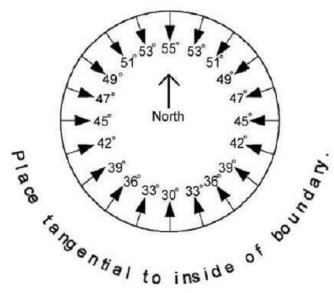
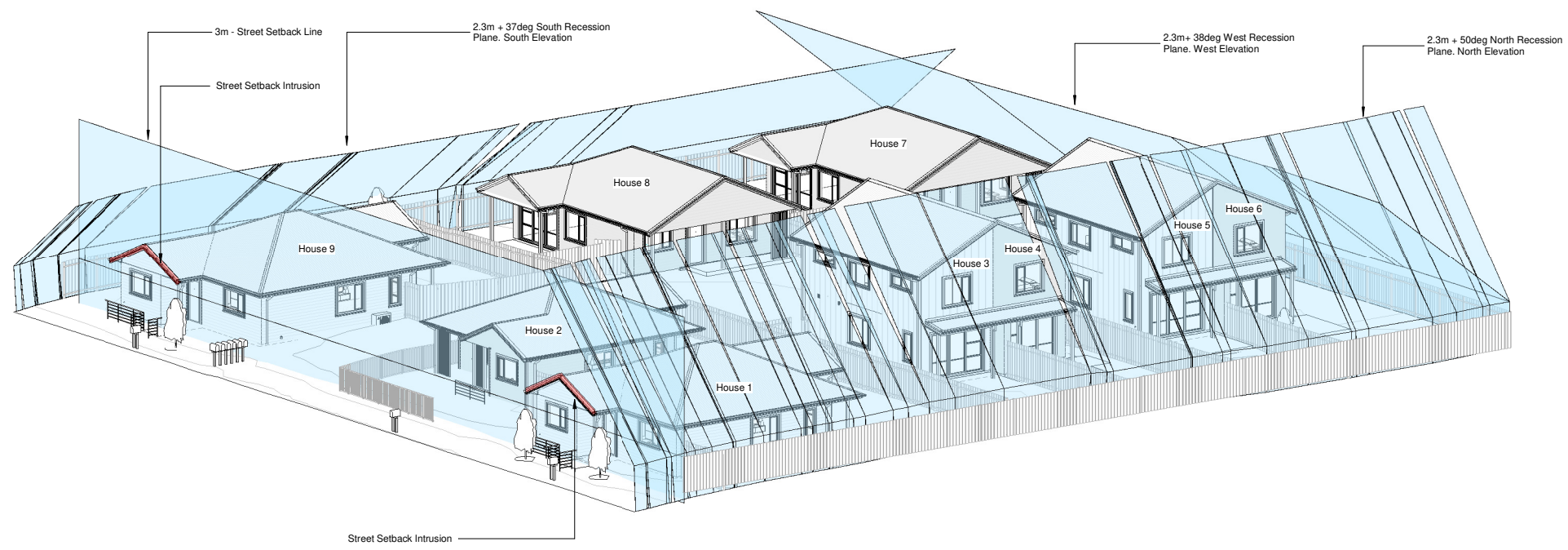
Revision Schedule		
Rev.	Description	Date
A	Resource Consent	19/03/2024

Resource Consent	
Issue Date:	19/03/2024
Drawn By:	KTC
Checked By:	MG
Scale:	As indicated @ A1

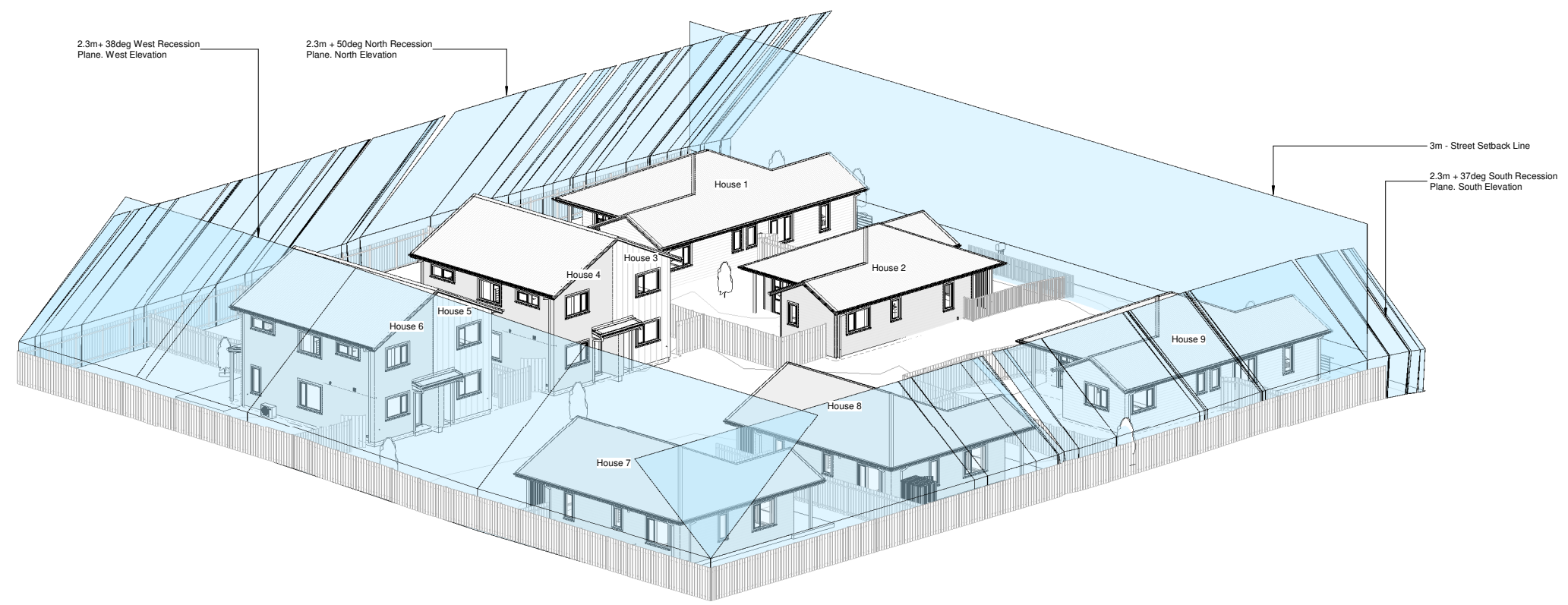
Sheet Name:	Existing Site Plan	
Sheet No:	0-11.01	Rev No: A

Recession Planes	
Elevation	Description
North Elevation	2.3m + 50deg North Recession Plane
West Elevation	2.3m+ 38deg West Recession Plane
South Elevation	2.3m + 37deg South Recession Plane

COMPLIANCE WITH RECESSION PLANES	
House 1	No, Eaves Intrusion with Street setback
House 2	Yes
House 3&4	Yes
House 5&6	Yes
House 7	No, Gutter Intrusion with yard setback
House 8	Yes
House 9	No, Eaves Intrusion with Street setback



1 Axometric View - 1
Scale @ A1

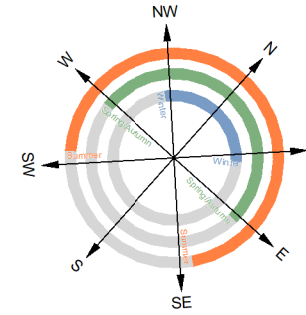


2 Axometric View - 2
Scale @ A1

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SCALE SUMMARY

1000 @ A1 = 2000 @ A3	100 @ A1 = 200 @ A3
500 @ A1 = 1000 @ A3	50 @ A1 = 100 @ A3
250 @ A1 = 500 @ A3	25 @ A1 = 50 @ A3
200 @ A1 = 100 @ A3	10 @ A1 = 20 @ A3
150 @ A1 = 300 @ A3	5 @ A1 = 10 @ A3



LEGAL DESCRIPTION	
Address:	6-10 Orr Street, Netherby, Ashburton
Lot / DP / CB	3/4/5 / 18886
ZONING INFO:	
Wind Region:	A
Earthquake Zone:	1
Exposure:	B
Wind Zone:	Medium
Planning Zone:	RC
Flood Management Zone:	NA
GENERAL NOTES:	
All dimensions are nominal and are to be checked on site before commencing work.	
Dimensions are showing to cladding face.	
All work to comply with the relevant section of the New Zealand Building Code.	
Location of water supply, power & phone to be confirmed.	

LINE TYPES LEGEND	
	Site Boundary
	Existing Boundary
	New internal Boundary
	Setbacks
	Handrail

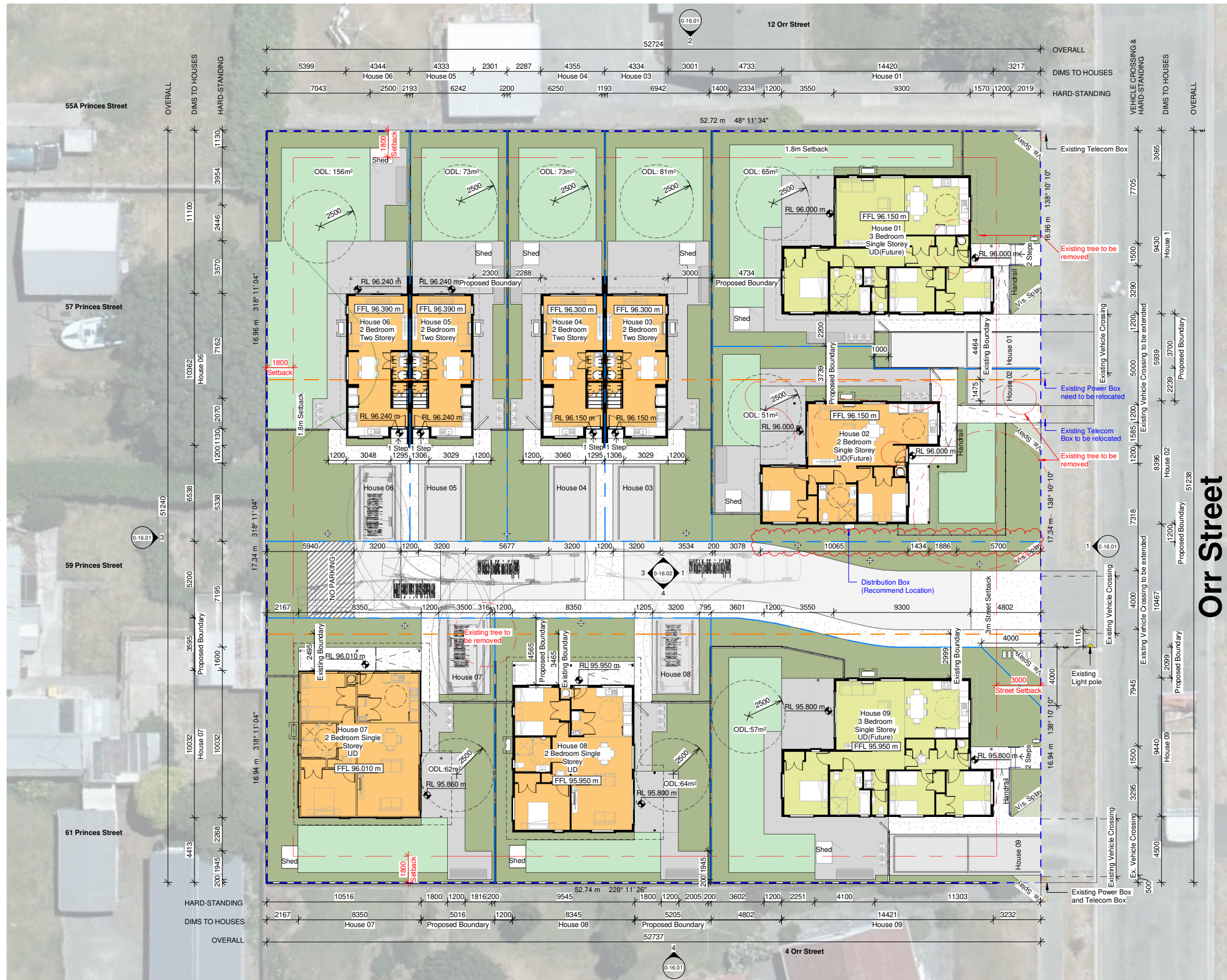
NOTE:
 Exposed aggregate Finishes to be crushed aggregate and compliant with Slip Resistance requirements of D1
 Timber Entry Decks
 To be coated with Dulux Intergrain UltraDeck, Slip Resistant, Achieving a P4 Slip resistance rating in compliance with D1 2.1.5
 Deck exempt from Building Consent
 proprietary balustrade system as per specification
 Site levels for reference only.
 Refer to Civil Engineers documentation for grading and site levels.
 Refer to Landscape Architects drawing set
 For all hard and soft landscaping setout and plant species.

HANDRAILS AND RAMPS NOTES
 All external steps for FUD to have a maximum riser of 180mm and a minimum tread of 310mm with a clear width of 1200mm, and have the ability to install handrails in the future if required. All steps will require handrails where the change in level is more than 500mm high.
 Accessible ramps are to be set at a maximum slope of 1:12 with a clear width of 1200mm.
 Where the surface of an accessible route is more than 25mm above the adjacent ground, protection is to be provided by a 75 mm high ramp edge.
 Handrails to be 1.1m high Juralco Viking balustrade system as per specification.

MASTERPLANNING LEGEND	
1 Bedroom House:	
2 Bedroom House:	
3 Bedroom House:	
4 Bedroom House:	
5 Bedroom House:	
Driveway:	
Footpath:	
Lawn Area:	
Landscaping:	
Waste & Recycle Areas:	
Refuse Bins:	
Timber Decking:	
Washlines 1 & 2 Bed: 1.2m above FFL (940mm x 2490mm)	
Washlines >3 Bed: 1.2m above FFL (940mm x 3390mm)	
Letter Boxes:	
New Water Meters:	
Lighting Bollard:	
Small Shed 1 Bed = (1530W x 785D x 1830H mm) * For no lawn unit only	
Medium Shed 1 - 4 Bed = (1530W x 1080D x 1830H mm)	
Large Shed 5 - 6 Bed = (1530W x 1830D x 1930H mm)	

BULK & LOCATION		
Address: 6-10 Orr Street, Netherby, Ashburton		
Total Site Area:	2702 m ²	
	Net Lot Area	Net Lot Site Coverage
House 1:	345.6m ²	33%
House 2:	281.3m ²	30.4%
House 3:	205.4m ²	21%
House 4:	186m ²	23%
House 5:	186m ²	23%
House 6:	274.5m ²	16%
House 7:	280.2m ²	34.6%
House 8:	266m ²	36.4%
House 9:	317.9m ²	35.9%
Building Coverage:		
House 1&9:	114.1m ² each	
House 2:	85.4m ²	
House 3-6:	43.17m ² each	
House 7&8:	97m ² each	
Total:	680.28m ²	25%
Parking:	11 bays	
Bicycle Parks:	9 (in Shed)	
Building Setback:	>1.8m	
Road Setback:	3m	
Building Height:	<8m	

Kainga Ora Typology Legend		
Unit Number	Typology	GFA
House 1	RH.04.08.01 UD	106.5 m ²
House 2	RC.04.08.01 UD	75.2 m ²
House 3&4	B.05.01.01	79.55m ² per unit
House 5&6	B.05.01.01	79.55m ² per unit
House 7	RF.04.06.02 UD	81.30 m ²
House 8	RF.04.06.02 UD	81.30 m ²
House 9	RH.04.08.01 UD	106.5 m ²



1 Ground Floor
 scale: 1:150 @ A1

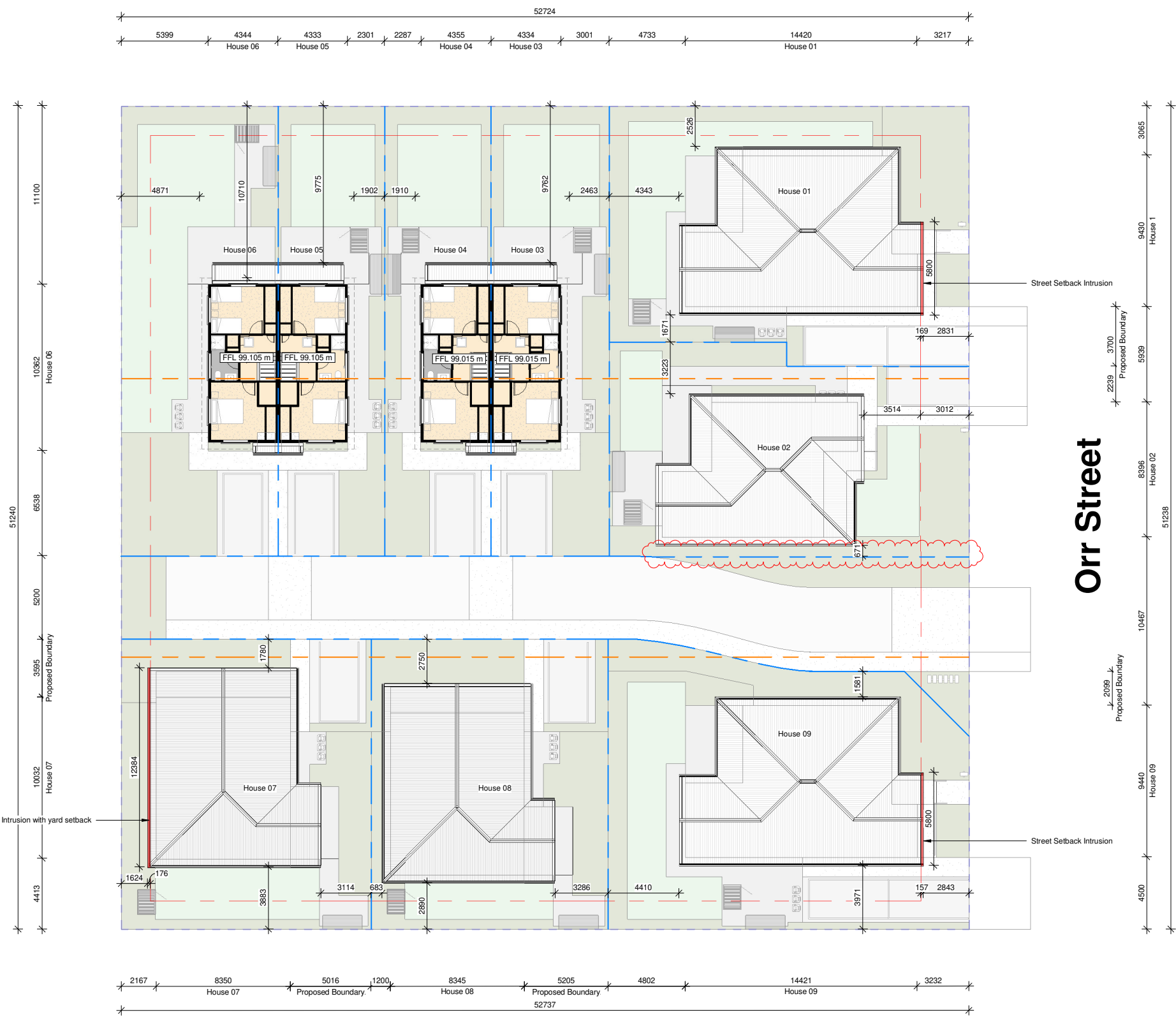


Client: 6-10 Orr Street - AR109526
 Project: 6-10 Orr Street Netherby Ashburton, 7700
 No: H1259-117

Revision Schedule		
Rev.	Description	Date
A	Resource Consent	19/03/2024
00	House 2 Internal Boundary adjusted	23/05/24

Building Consent	
Status:	Issue Date: 23/05/24
Drawn By: KTC	Checked By: MG
Scale: As indicated @ A1	

Sheet Name: Bulk and Location Plan - Ground Floor	
Sheet No: 0-11.03	Rev No: 00



1 **First Floor**
Scale 1 : 150 @ A1

LEGAL DESCRIPTION	
Address:	6-10 Orr Street, Netherby, Ashburton
Lot / DP / CB	3/4/5 / 18886
ZONING INFO:	
Wind Region:	A
Earthquake Zone:	1
Exposure:	B
Wind Zone:	Medium
Planning Zone:	RC
Flood Management Zone:	NA
GENERAL NOTES:	
All dimensions are nominal and are to be checked on site before commencing work.	
Dimensions are showing to cladding face.	
All work to comply with the relevant section of the New Zealand Building Code.	
Location of water supply, power & phone to be confirmed.	

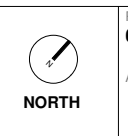
MASTERPLANNING LEGEND	
1 Bedroom House:	[Color swatch]
2 Bedroom House:	[Color swatch]
3 Bedroom House:	[Color swatch]
4 Bedroom House:	[Color swatch]
5 Bedroom House:	[Color swatch]
Driveway:	[Color swatch]
Footpath:	[Color swatch]
Lawn Area:	[Color swatch]
Landscaping:	[Color swatch]
Waste & Recycle Areas:	[Color swatch]
Refuse Bins:	[Icon]
Timber Decking:	[Icon]
Washlines 1 & 2 Bed: 1.2m above FFL (940mm x 2490mm)	[Icon]
Washlines >3 Bed: 1.2m above FFL (940mm x 3390mm)	[Icon]
Letter Boxes:	[Icon]
New Water Meters:	[Icon]
Lighting Bollard	[Icon]
Small Shed 1 Bed = (1530W x 785D x 1830H mm) * For no lawn unit only	
Medium Shed 1 - 4 Bed = (1530W x 1080D x 1830H mm)	
Large Shed 5 - 6 Bed = (1530W x 1830D x 1930H mm)	

Note:
Refer to Boffamiskell drawing set for hard and soft landscaping setout and plant species.

Kainga Ora Typology Legend		
Unit Number	Typology	GFA
House 1	RH.04.08.01 UD	106.5 m ²
House 2	RC.04.08.01 UD	75.2 m ²
House 3&4	B.05.01.01	79.55m ² per unit
House 5&6	B.05.01.01	79.55m ² per unit
House 7	RF.04.06.02 UD	81.30 m ²
House 8	RF.04.06.02 UD	81.30 m ²
House 9	RH.04.08.01 UD	106.5 m ²



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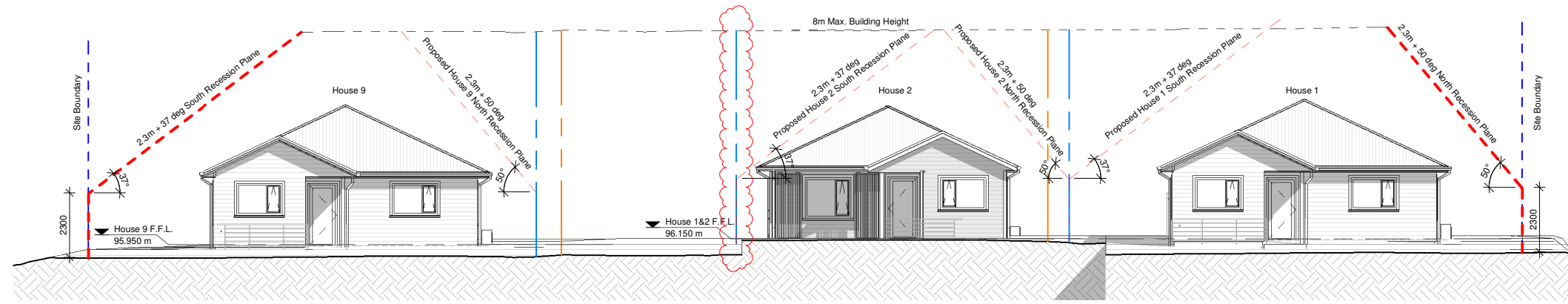
Revision Schedule		
Rev.	Description	Date
A	Resource Consent	19/03/2024
B	House 2 Internal Boundary adjusted	23/05/2024

Resource Consent	
Status:	Resource Consent
Issue Date:	23/05/2024
Drawn By:	KTC
Checked By:	MG
Scale:	As indicated @ A1

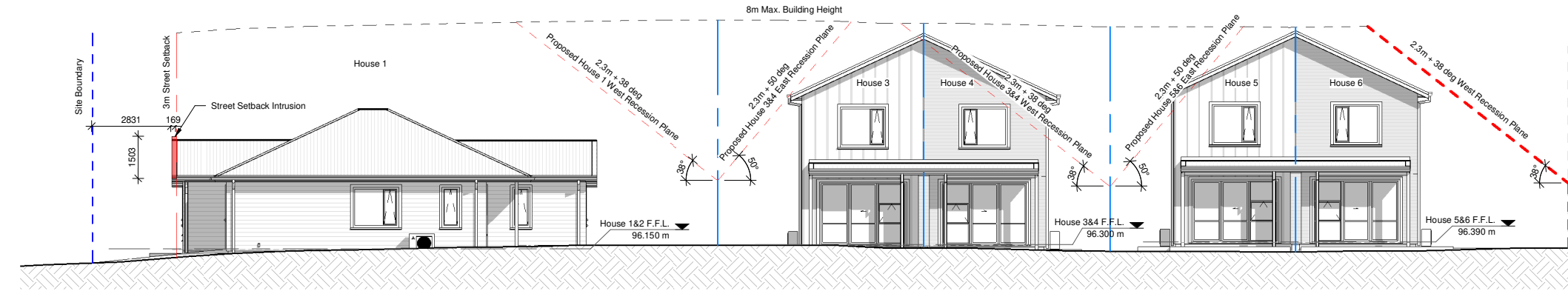
Sheet Name:
Bulk and Location Plan - First Floor

Sheet No:
0-11.04

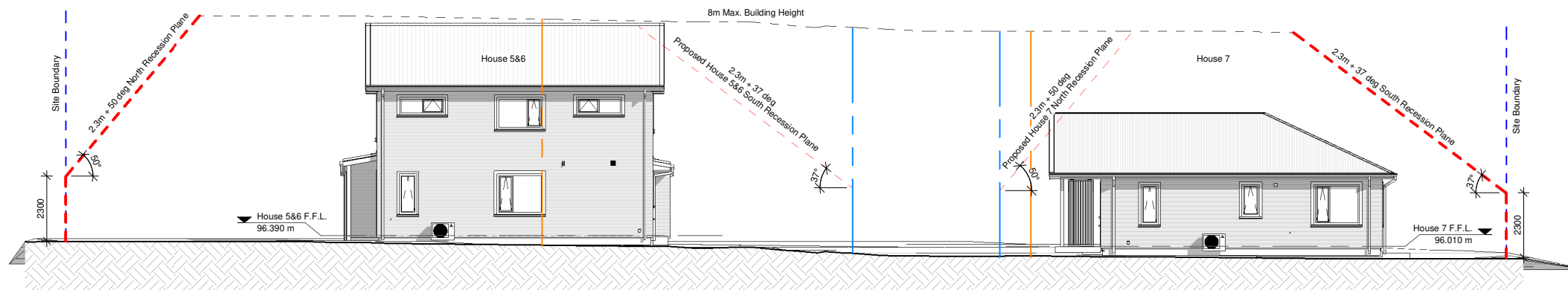
Rev No:
B



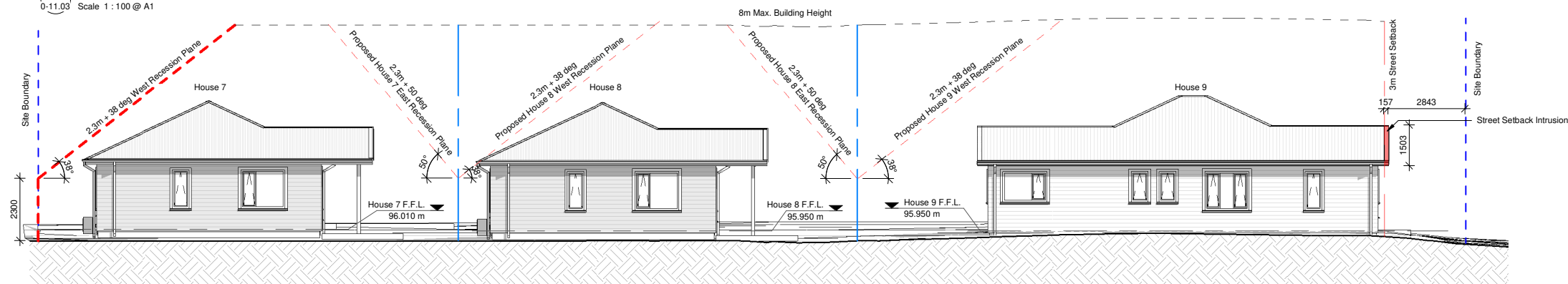
1 East Elevation
0-11.03 Scale 1 : 100 @ A1



2 North Elevation
0-11.03 Scale 1 : 100 @ A1



3 West Elevation
0-11.03 Scale 1 : 100 @ A1



4 South Elevation
0-11.03 Scale 1 : 100 @ A1

ELEVATION LEGEND		
Wall Cladding 1 Colour	Fibre Cement Weatherboard	Refer to material specifications
Wall Cladding 2 Colour	Board and Batten Cladding	Refer to material specifications
Roof Cladding Colour	Colorsteel Corrugated Roofing	Refer to material specifications

MAXIMUM HEIGHT	
Maximum Height	8.0 Meters*
*District Plan Rule: 4.9.3 - Height of Buildings	

NOTE
Clothes lines, Garden Sheds, Rubbish Bins and Vehicles are excluded from views

ELEVATION LEGEND HOUSE 01&09	
ROOFING & DOWNPIPES	Colorsteel Corrugated Roofing Colorsteel 'Sandstone Grey'
ALUMINIUM JOINERY	Powdercoated Finish (Dulux Duratec Zeus) Dulux, Duratec Zeus 'Sandstone Grey Matt'
WALL CLADDING 01 & VERANDA POSTS	Weatherboard Cladding Dulux 'Whitemans Valley Half'
ALUMINIUM FRONT DOOR	Powdercoated Finish (TBD) Dulux 'Colorsteel® Karaka'
TRIMS & FLASHINGS	Dulux 'Colour to Match Adjacent Cladding'

ELEVATION LEGEND HOUSE 02&08	
ROOFING & DOWNPIPES	Colorsteel Corrugated Roofing Colorsteel 'Sandstone Grey'
ALUMINIUM JOINERY	Powdercoated Finish (Dulux Duratec Zeus) Dulux, Duratec Zeus 'Sandstone Grey Matt'
WALL CLADDING 01 & VERANDA POSTS	Weatherboard Cladding Dulux 'Mangaweka'
ALUMINIUM FRONT DOOR	Powdercoated Finish (TBD) Dulux 'Colorsteel® Karaka'
TRIMS & FLASHINGS	Dulux 'Colour to Match Adjacent Cladding'

ELEVATION LEGEND HOUSE 07	
ROOFING & DOWNPIPES	Colorsteel Corrugated Roofing Colorsteel 'Sandstone Grey'
ALUMINIUM JOINERY	Powdercoated Finish (Dulux Duratec Zeus) Dulux, Duratec Zeus 'Sandstone Grey Matt'
WALL CLADDING 01 & VERANDA POSTS	Weatherboard Cladding Dulux 'Aoraki Quarter'
ALUMINIUM FRONT DOOR	Powdercoated Finish (TBD) Dulux 'Colorsteel® Karaka'
TRIMS & FLASHINGS	Dulux 'Colour to Match Adjacent Cladding'

ELEVATION LEGEND HOUSE 03&04, 05&06	
ROOFING & DOWNPIPES	Colorsteel Corrugated Roofing Colorsteel 'Sandstone Grey'
ALUMINIUM JOINERY	Powdercoated Finish (Dulux Duratec Zeus) Dulux, Duratec Zeus 'Sandstone Grey Matt'
WALL CLADDING 01 & VERANDA POSTS	Weatherboard Cladding Dulux 'Narrow Neck'
WALL CLADDING 02 & VERANDA POSTS	Board & Batten Cladding Dulux 'Aoraki Quarter'
ALUMINIUM FRONT DOOR	Powdercoated Finish (TBD) Dulux 'Colorsteel® Karaka'
TRIMS & FLASHINGS	Dulux 'Colour to Match Adjacent Cladding'

LINE TYPES LEGEND	
--- Site Boundary	Site Boundary
--- Existing Boundary	Existing Boundary
--- New Internal Boundary	New Internal Boundary
--- Setbacks	Setbacks
--- Handrail	Handrail

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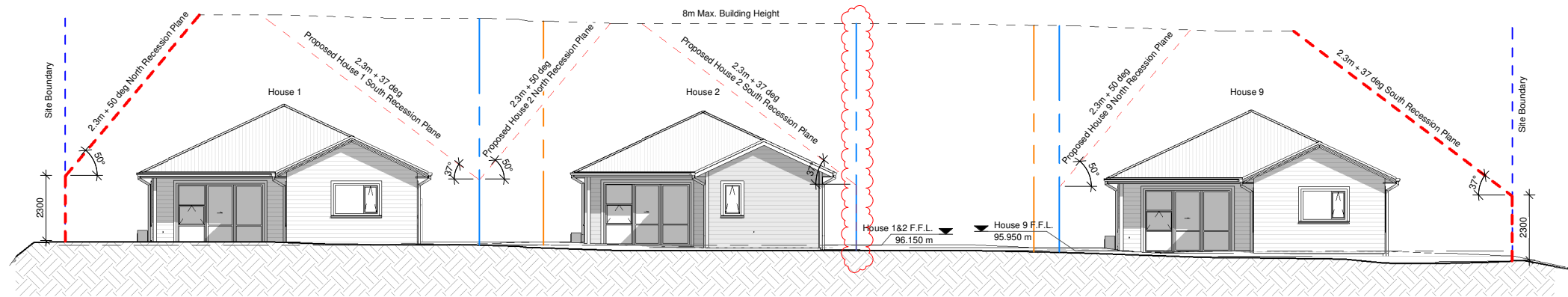
Client:
Project:
6-10 Orr Street - AR109526
Address:
6-10 Orr Street
Netherby
Ashburton, 7700

No:
H1259-117

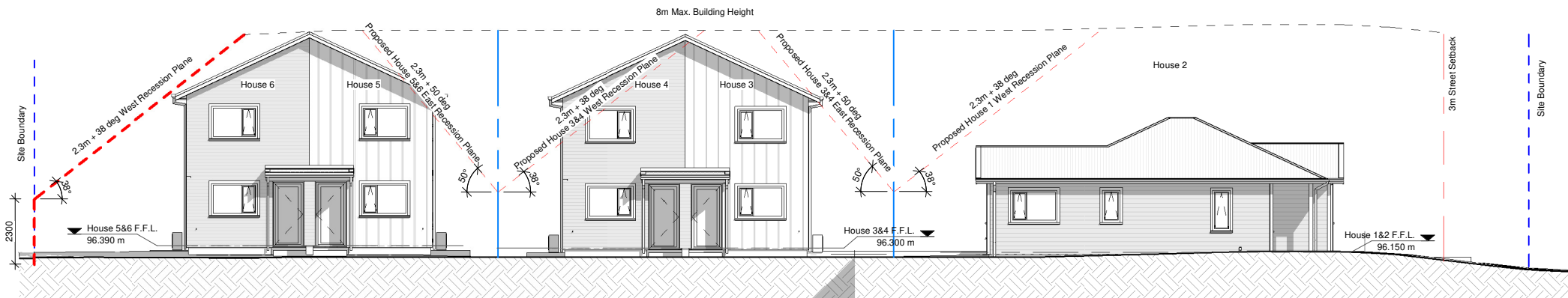
Revision Schedule		
Rev.	Description	Date
A	Resource Consent	19/03/2024
B	House 2 Internal Boundary adjusted	23/05/2024

Resource Consent	
Status:	Issue Date: 23/05/2024
Drawn By: KTC	Checked By: MG
Scale: As indicated @ A1	

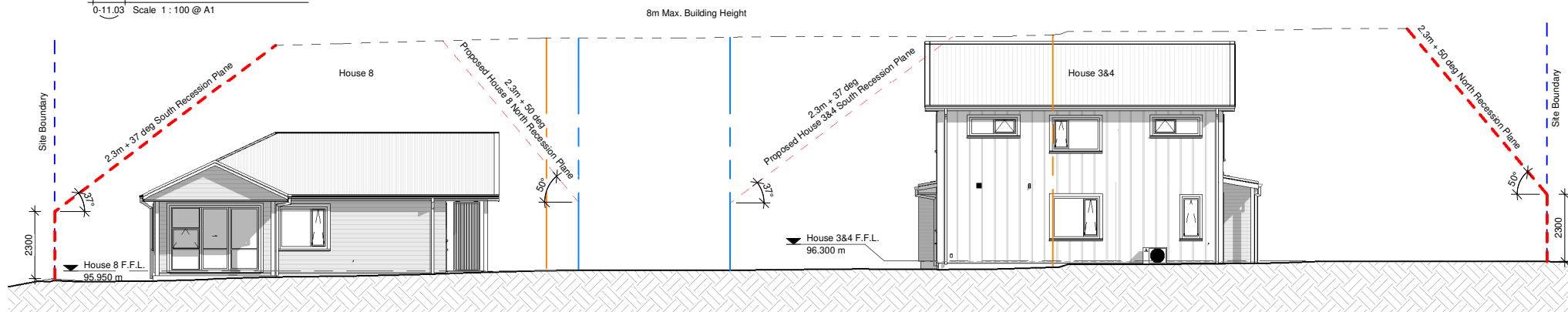
General Arrangement Elevations	
Sheet No:	0-16.01
Rev No:	B



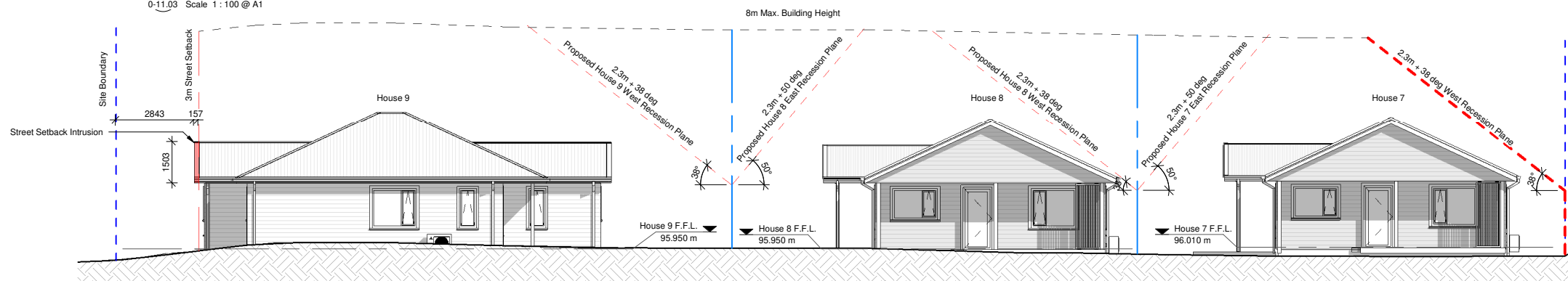
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0-11.03 Scale 1 : 100 @ A1



2 Internal Elevation 2
0-11.03 Scale 1 : 100 @ A1



3 Internal Elevation 3
0-11.03 Scale 1 : 100 @ A1



4 Internal Elevation 4
0-11.03 Scale 1 : 100 @ A1

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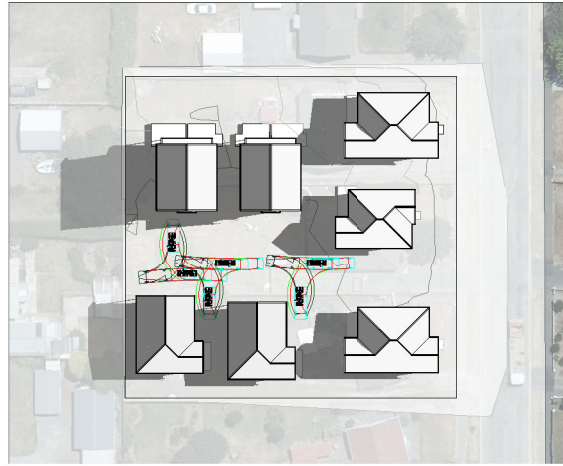
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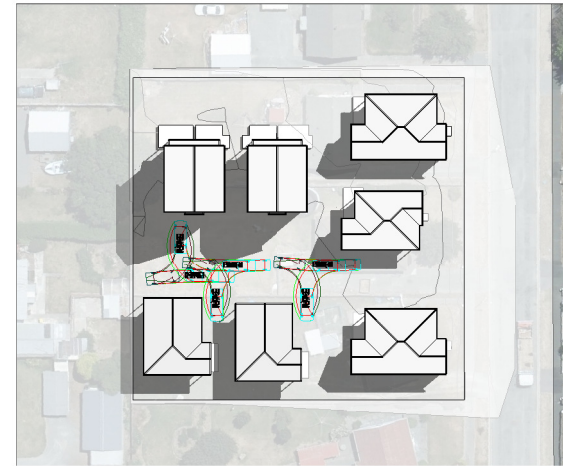
Resource Consent	
Status:	Resource Consent
Issue Date:	23/05/2024
Drawn By:	KTC
Checked By:	MG
Scale:	1 : 100 @ A1

Sheet Name:
General Arrangement Elevations(Internal)

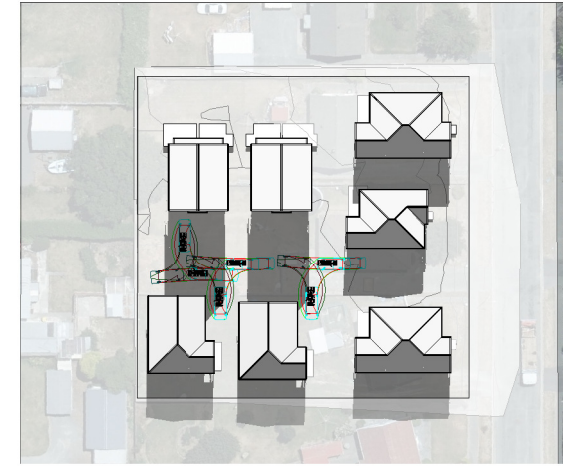
Sheet No: **0-16.02** Rev No: **B**



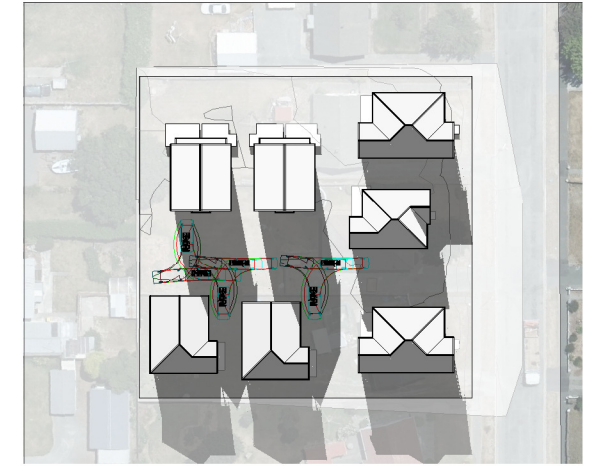
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Scale NTS



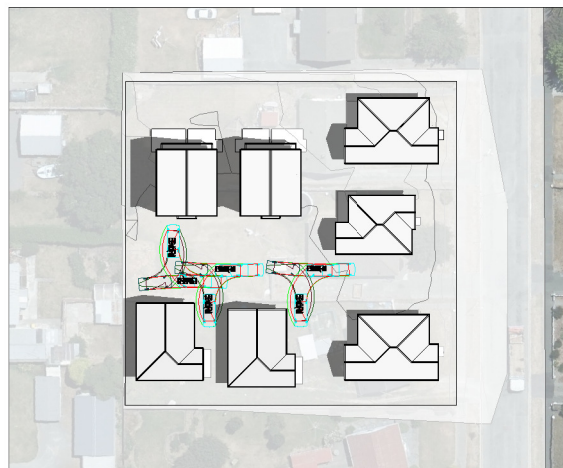
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Scale NTS



3 Shading Diagrams - Winter Solstice - 3 pm
Scale NTS



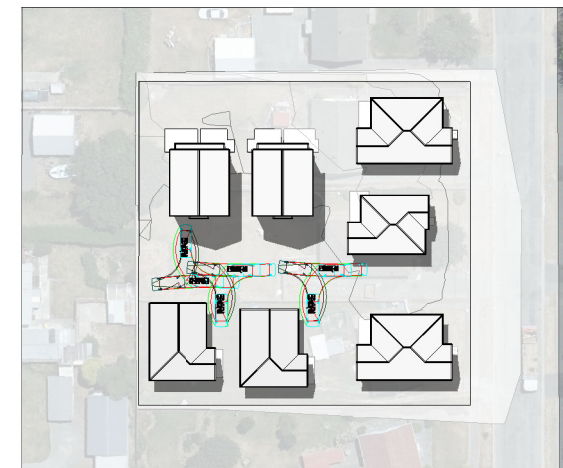
4 Shading Diagrams - Winter Solstice - 4 pm
Scale NTS



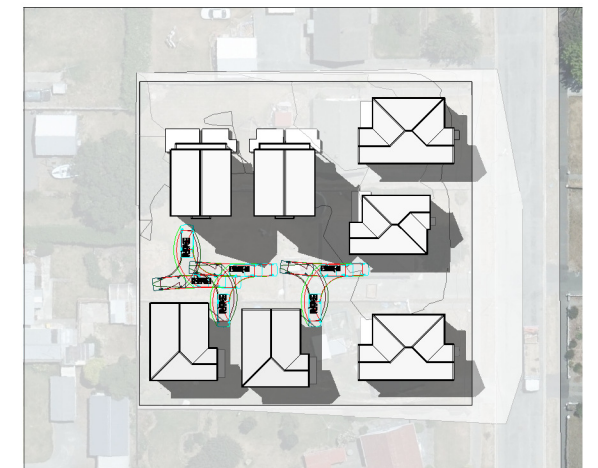
5 Shading Diagrams - Summer Solstice - 10 am
Scale NTS



6 Shading Diagrams - Summer Solstice - 12 pm
Scale 1 : 600 @ A1



7 Shading Diagrams - Summer Solstice - 3 pm
Scale 1 : 600 @ A1

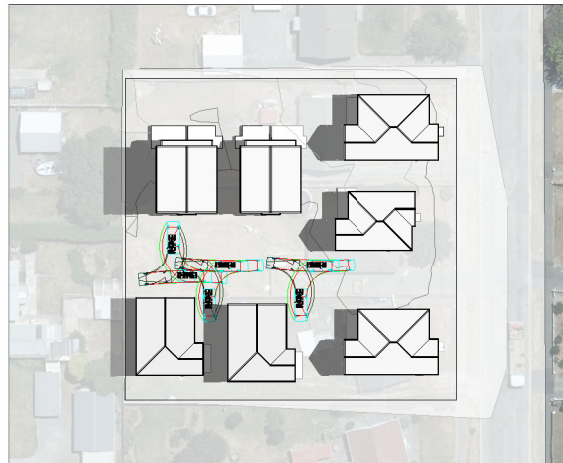


8 Shading Diagrams - Summer Solstice - 5 pm
Scale 1 : 600 @ A1

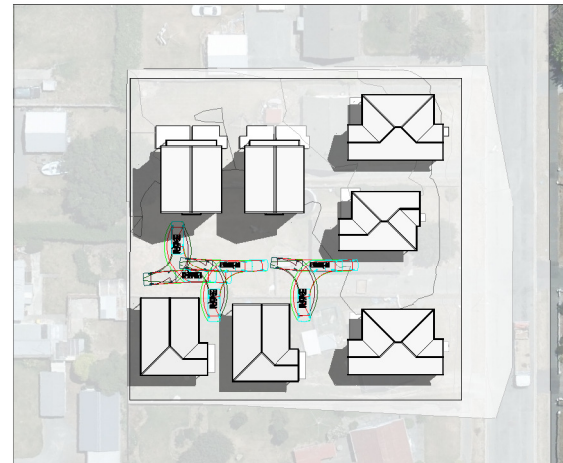
Revision Schedule		
Rev.	Description	Date
A	Resource Consent	19/03/2024

Resource Consent	
Status:	Resource Consent
Issue Date:	19/03/2024
Drawn By:	MI
Checked By:	JW
Scale:	1 : 600 @ A1

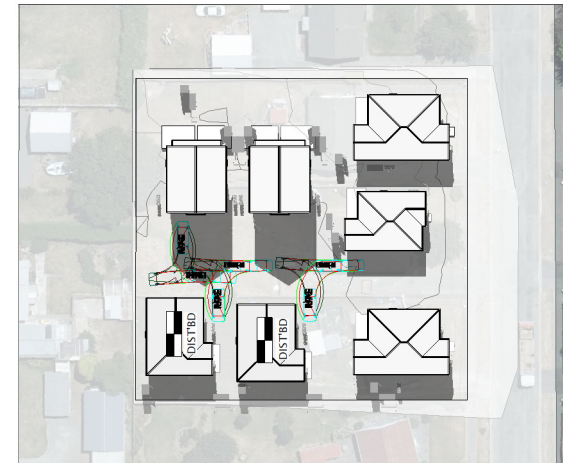
Recession Planes	
Elevation	Description
North Elevation	2.3m + 50deg North Recession Plane
West Elevation	2.3m+ 38deg West Recession Plane
South Elevation	2.3m + 37deg South Recession Plane



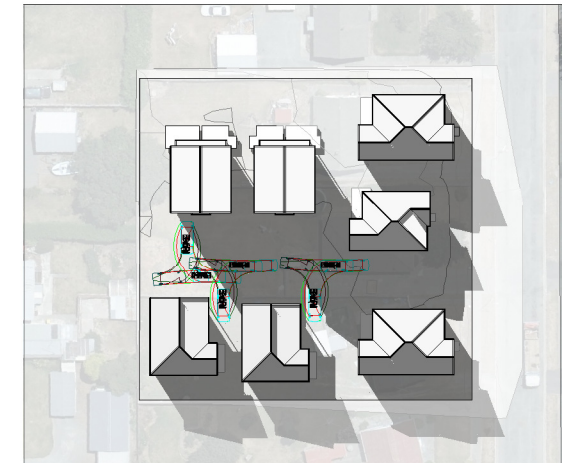
1 Shading Diagram - Spring Equinox - 10 am
Scale 1 : 600 @ A1



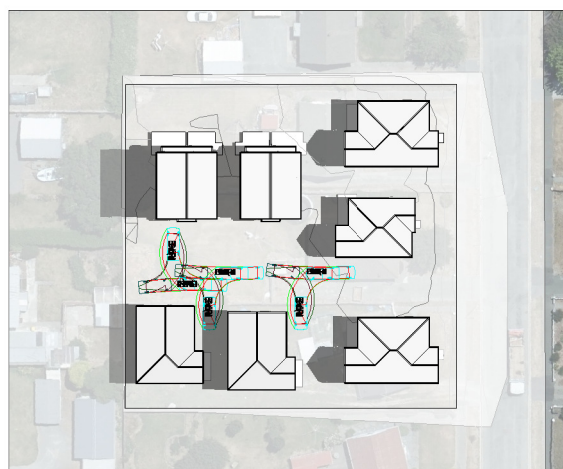
2 Shading Diagram - Spring Equinox - 12 pm
Scale 1 : 600 @ A1



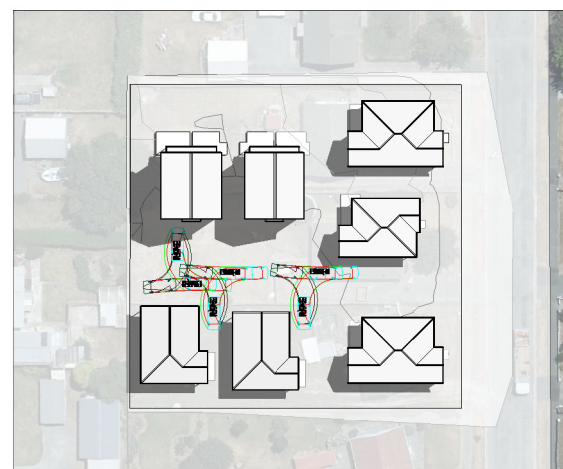
3 Shading Diagram - Spring Equinox - 3 pm
Scale 1 : 600 @ A1



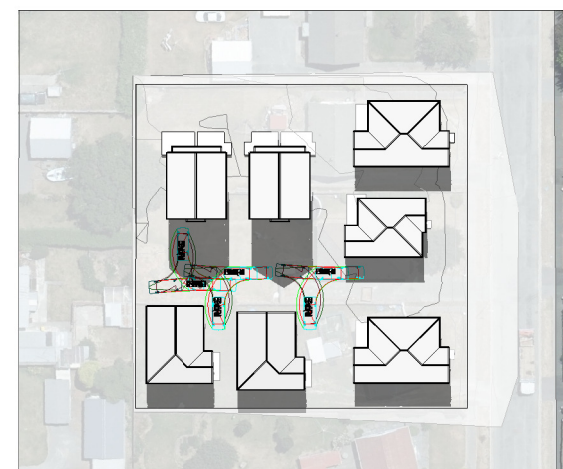
4 Shading Diagram - Spring Equinox - 5 pm
Scale 1 : 600 @ A1



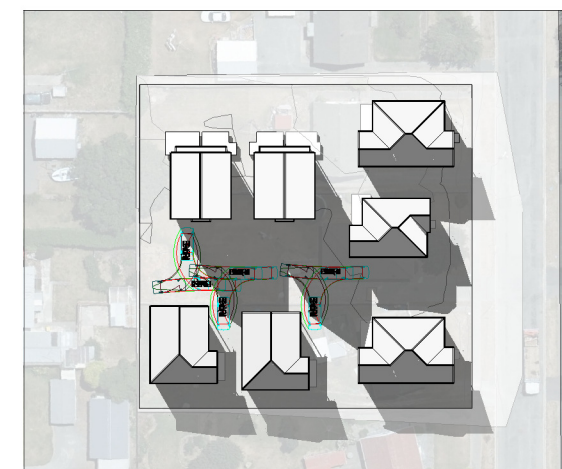
5 Shading Diagram - Fall Equinox - 10 am
Scale 1 : 600 @ A1



6 Shading Diagram - Fall Equinox - 12 pm
Scale 1 : 600 @ A1



7 Shading Diagram - Fall Equinox - 3 pm
Scale 1 : 600 @ A1



8 Shading Diagram - Fall Equinox - 5 pm
Scale 1 : 600 @ A1

Revision Schedule		
Rev.	Description	Date
A	Resource Consent	19/03/2024

Resource Consent	
Status:	Resource Consent
Issue Date:	19/03/2024
Drawn By:	MI
Checked By:	JW
Scale:	1 : 600 @ A1